

UTILITY NOTES

1. ALL SEWER, ELECTRIC, AND TELEPHONE SERVICE LINES AND EXTENSIONS ARE TO BE CONSTRUCTED TO THE RESPECTIVE UTILITY COMPANY SPECIFICATIONS. UTILITY DISCONNECTION'S TO BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
2. THE GENERAL CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON IS BASED ON UTILITY COMPANY RECORDS, AND WHERE POSSIBLE, FILLED MEASUREMENTS. THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS PRIOR TO THE EXCAVATION AND REQUEST FIELD VERIFICATION OF UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH IMPROVEMENTS SHOWN HEREON IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
3. BEFORE INSTALLATION OF WATER LINES, STORM SEWERS OR SANITARY SEWERS, THE CONTRACTOR SHOW EXCAVATE AND VERIFY ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT HE IS NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
4. ALL SEWER CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LOCAL SERVICE PROVIDER SEWER SPECIFICATIONS AND DETAILS (LATEST REVISIONS).
5. ALL SEWER SERVICE LINES, SHALL BE TESTED BY THE CONTRACTOR. THE TESTS SHALL BE CONDUCTED IN THE PRESENCE OF THE LOCAL SERVICE PROVIDER REPRESENTATIVE.
6. THE CONTRACTOR SHALL PAY ANY APPLICABLE WATER AND SEWERAGE SERVICES INSPECTION FEES.
7. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE, ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTORS EXPENSE, AND COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES AND GAS LINES DO NOT CONFLICT WITH SANITARY SEWERS, SANITARY SEWER SERVICES OR STORM SEWERS.
9. WATER SERVICE PIPE SHALL BE POLYETHYLENE (PE), DR8, LOCATION AND SIZE OF WATER SERVICE SHALL BE SHOWN ON THE UTILITY PLAN, IN COORDINATION WITH REPRESENTATIVES OF THE LOCAL WATER AUTHORITY.
10. SEWER SERVICE SHALL BE 6" DIAMETER NON-PRESSURE POLYVINYL CHLORIDE PIPE (PVC) CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKETS. INSTALL IN THE LOCATIONS SHOWN HERE ON.
11. CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN THE CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRIC COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD AND UNDERGROUND WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
12. THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATIONS OF THOSE SHOWN MAY BE DIFFERENT FROM LOCATIONS DESIGNATED ON THE CONTRACT DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS NECESSARY TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITY LINES.
13. THE DEVELOPER IS TO SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE CONTRACTOR, THE DEVELOPERS ENGINEER, THE CITIES REPRESENTATIVE AND THE CITIES ENGINEER.
14. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
15. REMOVE ALL FOUNDATIONS, UNDERGROUND TANKS, PAVING, BASE ETC. IF REMAINING, BEFORE BEGINNING CONSTRUCTION.
16. FILL ALL PLANTERS/ISLANDS TO TOP OF CONCRETE CURB WITH TOPSOIL. TOPSOIL TO BE CLEAN AND FREE OF DEBRIS, ETC.
17. THESE PLANS, PREPARED BY CIVIL ENGINEERING SERVICES, DID NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE CIVIL ENGINEERING SERVICES REGISTERED PROFESSIONAL ENGINEER HERE ON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
18. IN THE CASE OF CONFLICT BETWEEN THIS DRAWING AND ANY OTHER DRAWING AND/OR THE SPECIFICATIONS. THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR CLARIFICATION.
19. ANY AND ALL FEES, LICENSES AND PERMITS NECESSARY FOR THIS CONSTRUCTION ARE TO BE OBTAINED PRIOR TO THE INITIATION OF CONSTRUCTION AND THE COST OF SAME TO BE BORNE BY THE CONTRACTOR.
20. FOR WATER SERVICE ALL CORPORATION STOPS SHALL CONFORM TO LOCAL SERVICE PROVIDER SPECS.
21. FITTINGS SHALL BE BRASS, CAST AND MACHINED IN ACCORDANCE WITH AWWA C800 AND AWWA C901, WITH COMPATIBLE PIPE CONNECTIONS.
22. SERVICE SADDLES AND ANCHORS SHALL CONFORM TO ALL SERVICE PROVIDER SPECIFICATIONS.
23. ALL SEWER SERVICE FITTINGS AND ACCESSORIES SHALL BE MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR PRIOR-APPROVED EQUAL.
24. BEDDING AND INITIAL BACKFILL OVER SEWER MAINS AND SERVICES SHALL CONFORM TO THE GEOTECHNICAL REPORT RECOMMENDATIONS OR LOCAL SERVICE PROVIDER RECOMMENDATION WHICH EVER IS MORE STRICT.
25. ALL UTILITY SERVICES IN EXISTING ROADS SHALL BE INSTALLED BY BORING. ALL TRENCHES IN EXISTING PARKING LOTS SHALL UTILIZE A CLEAN SAW CUT AND SHALL BE BACKFILLED (100%) TO FINAL SUBGRADE WITH #57 STONE. REPAIR ROADS PER CITY REQUIREMENTS.

UTILITY NOTES CONTINUED

28. REINFORCED CONCRETE PIPE (RCP); O-RING SHALL CONFORM TO ASTM C 76 (CLASS III, UNLESS OTHERWISE SPECIFIED) AND AASHTO M 170 STANDARD SPECIFICATIONS, AND ASTM C 443 STANDARD SPECIFICATIONS FOR JOINTS FOR RCP USING RUBBER GASKETS.
29. ELLIPTICAL RCP SHALL CONFORM TO ASTM C 507 (CLASS III) AND AASHTO M 207 STANDARD SPECIFICATIONS.
30. HDPE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M 25 (3"-10"), M 294 (12" AND LARGER), TYPE S (CORRUGATED OUTSIDE - SMOOTH INSIDE, 4" - 60"), AND MP 7 (60" TYPE S).
31. BELL/SPIGOT GASKET FOR HDPE PIPE SHALL BE SOIL/SILT TIGHT PER AASHTO SECTION 26 WITH RUBBER GASKET MEETING ASTM F 477.
32. PVC STORM SEWER PIPE (12" OF LESS) AND FITTINGS SHALL BE NON-PRESSURE PVC CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKET JOINTS.
33. REPAIR ALL DAMAGE TO EXISTING FEATURES(I.E. DRIVES, ROADS, YARDS, LANDSCAPING, ETC.) TO PRECONSTRUCTION CONDITION.
34. COORDINATE THE EXACT LOCATION OF ALL UTILITIES ENTERING THE BUILDING WITH THE PLUMBING PLANS PROVIDED BY OTHERS.
35. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA.
36. SOME UTILITIES CAN BE LOCATED BY CALLING THE XXXX ONE CALL. THE CONTRACTOR SHALL CALL "811", PRIOR TO PROCEEDING WITH ANY EXCAVATION.
37. REPAIR EXISTING PAVEMENT, CURBS, WALKS, LANDSCAPING, ETC. THAT ARE DAMAGED BY CONSTRUCTION ACTIVITIES TO A LIKE NEW CONDITION AT NO ADDITIONAL COST TO THE OWNER.
38. THE PROPOSED GAS LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL GAS COMPANY BY THE CONTRACTOR.
39. THE PROPOSED ELECTRIC LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL ELECTRIC COMPANY BY THE CONTRACTOR.
40. THE PROPOSED TELEPHONE LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL TELEPHONE COMPANY BY THE CONTRACTOR.
41. THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER AND AROUND THE UTILITIES THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
42. PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING OWNERS OF ALL AFFECTED UTILITIES IN ORDER TO DETERMINE THE EXTENT TO WHICH UTILITY RELOCATIONS AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF WORK FOR THE PROJECT. WHILE SOME WORK MAY BE REQUIRED AROUND UTILITY FACILITIES THAT WILL REMAIN IN PLACE, OTHER UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTORS OPERATIONS.
43. FIRE HYDRANT ASSEMBLIES (IF REQUIRED ON THESE PLANS) INCLUDE THE APPROPRIATE SIZED TEE (WITH KICKER), 6" LINE TO HYDRANT, 6" GATE VALVE (WITH VALVE BOX), AND FIRE HYDRANT (WITH KICKER). HYDRANT SHALL BE INSTALLED AT LOCATION SHOWN ON THE PLANS.
44. BACKFLOW PREVENTION DEVICE FOR THE DOMESTIC WATER SERVICE SHALL BE LOCATED INSIDE THE BUILDING UNLESS OTHERWISE SPECIFIED IN THESE PLANS. COORDINATE WITH LOCAL SERVICE PROVIDER.
45. MAINTAIN 18" MINIMUM VERTICAL CLEARANCE AT UTILITY CROSSING.

GRADING & DRAINAGE NOTES

1. SEE LANDSCAPE PLAN FOR REQUIRED TREES AND GROUND COVER.
2. SLOPE OF SURFACE GRADE SHALL BE A MINIMUM OF 1.00%
3. MAXIMUM CUT OF FILL SLOPES IS 2H:1V.
4. THE CONTRACTOR SHALL PROVIDE CLEAN, SUITABLE MATERIAL FOR REQUIRED FILL. SHOULD A SUFFICIENT QUANTITY OF SUITABLE MATERIAL NOT BE AVAILABLE FROM THE REQUIRED EXCAVATION ON THE SITE.
5. ALL FILL SHOULD BE PLACED IN THIN, HORIZONTAL LOOSE LIFTS (MAXIMUM 6-INCH) AND COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). THE UPPER 8 INCHES OF SOIL BENEATH PAVEMENTS AND SLAB-ON-GRADE SHOULD BE COMPACTED TO GEOTECHNICAL RECOMMENDATIONS AND MUST BE CERTIFIED BY A OKLAHOMA REGISTERED PROFESSIONAL SOILS ENGINEER PRIOR TO THE INSTALLATION OF PAVEMENTS, CURBS, SIDEWALKS OR FOOTINGS OF ANY TYPE.
6. DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE FULLY CONSTRUCTED AND OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
7. LENGTH OF RIP-RAP PADS AT PIPE OUTLET STRUCTURES TO BE A MINIMUM LENGTH OF (6) SIX TIMES THE DIAMETER OF THE PIPE.
8. JURISDICTIONAL LAND DISTURBANCE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.

EROSION CONTROL NOTES

1. SEDIMENT BARRIERS AND CONSTRUCTION ENTRANCE SHALL BE PLACED AS INDICATED ON THE PLAN PRIOR TO ANY GRADING WORK.
2. DUST CONTROL ON SITE SHALL BE KEPT WITHIN ACCEPTABLE LIMITS BY SPRINKLING WITH WATER OR OTHER ACCEPTABLE METHODS.
3. MAXIMUM SLOPES SHALL NOT EXCEED 3:1. CUT AND FILL SLOPES 3:1 SHALL BE STABILIZED BY EROSION CONTROL FABRIC, HYDROSEEDING, SOD, OR OTHER ACCEPTABLE METHODS.
4. ADDITIONAL EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY BEFORE GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTORS RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
5. THE LOCATIONS OF EROSION CONTROL DEVICES SHALL BE ADJUSTED AS CONSTRUCTION PROGRESSES TO MAINTAIN A FUNCTIONAL EROSION CONTROL SYSTEM.
6. ANY FAILURE OF ANY EROSION CONTROL DEVICE TO FUNCTION AS INTENDED FOR ANY REASON SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
7. EROSION CONTROL DEVICES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND AT LEAST DAILY DURING PROLONGED PERIODS OF CONTINUOUS RAINFALL.
8. EROSION CONTROL DEVICES SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A FUNCTIONAL EROSION CONTROL SYSTEM.
9. EROSION CONTROL DEVICES SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED AND THEN REMOVED SO THAT DRAINAGE OF THE SITE IS NOT IMPEDED.
10. ANY CUT OR FILL SLOPES 3:1 OR GREATER SHALL BE STABILIZED WITHIN 7 DAYS OF COMPLETING WORK ON THE SLOPES.
11. CLEAN SILT BARRIERS WHEN THEY ARE APPROXIMATELY 50% OBSTRUCTED BY SEDIMENT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. SILT BARRIERS SHALL BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED.
12. TOPSOIL SHALL BE RE-SPREAD A MINIMUM DEPTH OF 6" OVER ALL DISTURBED AREAS.
13. AREAS THAT HAVE BEEN STRIPPED, CUT SLOPES, FILL SLOPES OR AREAS OTHER WISE DISTURBED SHALL HAVE PERMANENT STABILIZATION APPLIED PER LANDSCAPE PLAN. PERMANENT STABILIZATION SHALL BE PLACED PRIOR TO ACCEPTANCE OF FINAL GRADING.
14. REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES PRIOR TO ACCEPTANCE BY THE OWNER.

DEMOLITION NOTES

1. PRIOR TO COMMENCEMENT OF DEMOLITION THE CONTRACTOR WILL COORDINATE HIS ACTIVITIES WITH ALL THE UTILITY COMPANIES SERVING THIS AREA. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
2. THE CONTRACTOR IS TO COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND BUILDINGS THAT ARE SO INDICATED INCLUDING FOUNDATIONS, TIMBER AND BRUSH, EXCEPT AS OTHERWISE INDICATED; STUMPS AND ROOTS; EXISTING PAVEMENT; OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS.
3. EXCEPT IN AREAS WHERE EXISTING TREES SHALL BE PRESERVED, A MINIMUM DEPTH OF REMOVAL SHALL BE (2) FOOT BELOW SUBGRADE. IN ROADWAY AREAS AND TO ORIGINAL SOILS ELSEWHERE, WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED, ALL TRACES OF FOUNDATIONS AND UNDERGROUND UTILITIES ARE TO BE REMOVED (UNLESS OTHERWISE NOTED ON PLANS). THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTER MATERIAL.
4. WHERE PAVING OR STRUCTURES ARE TO BE REMOVED WHICH ABUT OR ARE A PART OF CONNECTED FACILITIES (THAT ARE OFF-SITE), RESTORATION OF ANY DAMAGE THAT MIGHT RESULT FROM DEMOLITION IS TO BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
5. THE LOCATION OF ALL EXISTING UTILITIES, STORM DRAINAGE AND TREES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF DEMOLITION THE CONTRACTOR SHALL VISIT THE SITE AND DETERMINE THE EXISTENCE & LOCATION OF ALL STRUCTURES, UTILITIES & TREES SHOWN OR NOT SHOWN ON THE PLANS, WHICH WOULD NEED TO BE REMOVED OR PRESERVED.
6. THE CONTRACTOR IS TO COORDINATE THE RELOCATION OR REMOVAL OF ALL OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS AND LINES IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE PROVIDER.
7. THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION. (UNDER THE DIRECTION OF A REGISTERED LAND SURVEYOR IN THE STATE OF THE PROJECT SITE)
8. REMOVE AND DISCARD ALL EXISTING ASPHALT PAVEMENT AND BASE MATERIAL AT LEAST 6" BELOW ASPHALT WITHIN THE LIMITS SHOWN. EXISTING SUBBASE MATERIAL MAY BE REUSED PROVIDED IT IS STABILIZED AND COMPACTED PER THE TYPICAL PAVEMENT DETAIL.
9. PRIOR TO COMMENCEMENT OF DEMOLITION, CONTRACTOR SHALL OBTAIN ANY DEMOLITION PERMITS REQUIRED.

GENERAL NOTES

1. THE CONTRACTOR(S) SHALL REMOVE ALL OBSTRUCTIONS, BOTH ABOVE AND BELOW GROUND, AS REQUIRED FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. THIS SHALL INCLUDE CLEARING AND GRUBBING WHICH CONSISTS OF CLEARING THE GROUND SURFACE OF ALL TREES, STUMPS, BRUSH, UNDERGROWTH, HEDGES, HEAVY GROWTH OF GRASS OR WEEDS, FENCES, STRUCTURES, DEBRIS, RUBBISH, AND SUCH MATERIAL WHICH, IN THE OPINION OF THE ENGINEER, IS UNSUITABLE FOR THE FOUNDATION OF PAVEMENTS.
2. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL THE DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
3. ALL CONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES ARE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ALL JURISDICTIONAL BODIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN AND AROUND THE CONSTRUCTION AREA.
4. EXISTING A. C. PAVEMENT SHALL BE CUT TO A NEAT STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EXPOSED EDGE SHALL BE CUT TO A NEAT STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EDGE COATED WITH TAR AS REQUIRED BY THE CITY STREETS DEPARTMENT.
5. ALL MATERIALS FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE.
6. CONTRACTORS MUST FURNISH PROOF THAT ALL MATERIALS INSTALLED ON THIS PROJECT MEET THE REQUIREMENTS OF ITEM #5 AT THE REQUEST OF THE AGENCY AND/OR THE ENGINEER.
7. ALL COSTS OF RETESTING FOR PREVIOUSLY FAILED TESTS SHALL BE BACK CHARGED TO THE CONTRACTOR BY THE OWNER.
8. ALL COSTS TO THE CONTRACTOR INCURRED IN CORRECTING DEFICIENT WORK SHALL BE TO THE CONTRACTORS ACCOUNT. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
9. THE GENERAL CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON IS BASED ON UTILITY COMPANY RECORDS, AND WHERE POSSIBLE, FIELD MEASUREMENTS. THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OF UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH IMPROVEMENTS SHOWN HEREON IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH PREPARATIONS
10. ALL MATERIAL PLACED AS FILL OR BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE PER THE STANDARD PROCTOR METHOD (ASTM D 698) - SEE GEOTECHNICAL REPORT
11. IN THE CASE OF CONFLICT BETWEEN THIS DRAWING AND ANY OTHER DRAWING AND/OR THE SPECIFICATIONS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR CLARIFICATION.
12. ALL LOT DIMENSIONS, EASEMENTS AND CERTAIN OFF-SITE EASEMENTS ARE TO BE TAKEN FROM THE FINAL PLAT PREPARED BY THE SURVEYOR.
13. OVER EXCAVATION AND ADDITIONAL GRANULAR BACKFILL MAY BE REQUIRED IN HIGH GROUNDWATER AREAS WHICH ARE TO BE DETERMINED BY THE FIELD INSPECTOR OR OWNER.



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REVISIONS:

ISSUE DATE:

1ST PERMIT/BID SET 03-27-2023

DRAWN BY: RLP

PANDA PROJECT #: S8-23-D24283

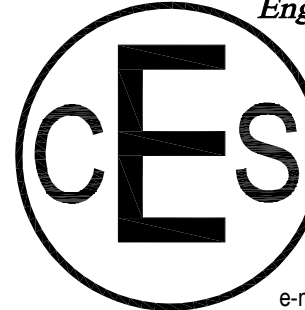
PANDA STORE #: D24283



03/27/2023

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PANDA EXPRESS

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GENERAL NOTES

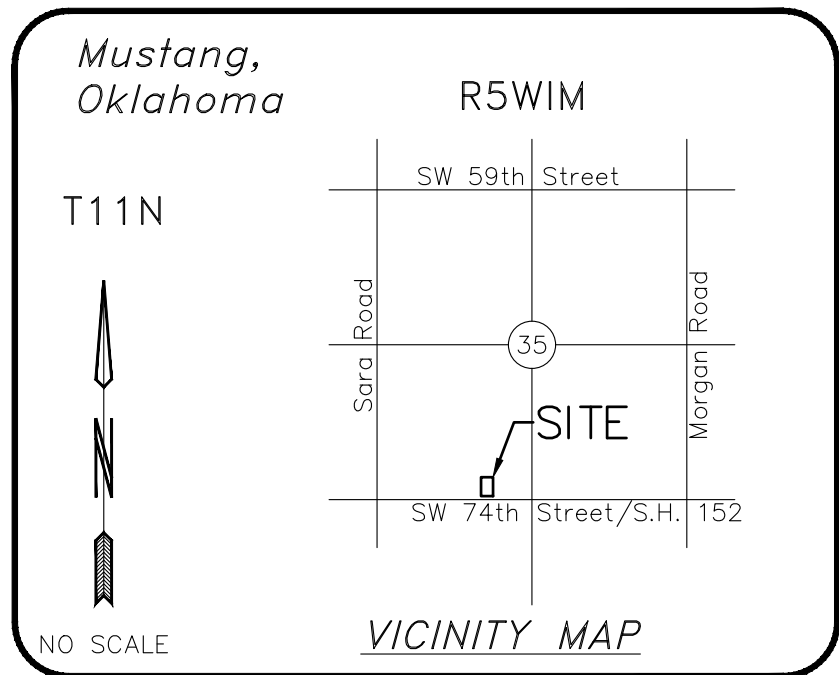
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TRUE WARM & WELCOME 2600 RX

ALTA/NSPS LAND TITLE SURVEY

LOT 1, BLOCK 1

OF PROPOSED MUSTANG MARKET PLACE TO THE CITY OF MUSTANG, CANADIAN COUNTY, OKLAHOMA



SCHEDULE B-II ITEMS

TITLE COMMITMENT HAS NOT BEEN PROVIDED BY THE CLIENT.

SURVEY NOTES

1. PROPERTY DOES HAVE PHYSICAL ACCESS TO SW 74TH STREET/STATE HIGHWAY 152. (I.E. CURB CUTS OR DRIVES)
2. SURVEY WAS BALANCED AND ADJUSTED.
3. SUBJECT PROPERTY HAS NO MARKED PARKING SPACES.
4. NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
5. NO INFORMATION WAS PROVIDED TO THE SURVEYOR RELATING TO PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES. THERE WAS OBSERVABLE EVIDENCE OF OF RECENT SIDEWALK CONSTRUCTION ALONG ASPEN AVENUE.
6. ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENTS, SERVITUDE, AND ENCROACHMENTS; ARE BASED SOLELY ON ABOVEGROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
7. A UTILITY LOCATE REQUEST WAS MADE THROUGH THE OKLAHOMA ONE CALL SYSTEM (TICKET #22081809431567), SURVEYOR CAN NOT VERIFY THAT ALL UTILITIES WERE MARKED BY THE UTILITY COMPANIES THAT WERE NOTIFIED.
8. A ZONING REPORT WAS NOT PROVIDED BY THE CLIENT.

FLOOD INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 40017C0440H DATED SEPTEMBER 26, 2008. NO FIELD SURVEY WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY. ZONE "X" DENOTES AREAS OF 0.2% ANNUAL CHANCE FLOOD OR AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE.

POSSIBLE ENCROACHMENTS

- ☒ A BARB WIRE FENCE LIES 1.1 FEET SOUTH OF SOUTH BOUNDARY OF THE SUBJECT PROPERTY.

LEGEND

●	MONUMENT SET (1/2" IRON BAR UNLESS OTHERWISE NOTED)
○	MONUMENT FOUND
⚓	BENCHMARK
△	CONTROL POINT
—	SUBJECT PROPERTY
---	PROPOSED PROPERTY LINE
---	EASEMENT LINE
---	RIGHT-OF-WAY
---	BUILDING LIMIT LINE
---	SECTION LINE
X X X	BARB WIRE FENCE
— O —	OVERHEAD ELECTRIC LINE
— U —	UNDERGROUND ELECTRIC LINE
— G —	GAS LINE
— T —	UNDERGROUND TELEPHONE LINE
— W —	UNDERGROUND WATER LINE
—	TREE LINE
(00°00'00")	CONCRETE
○ PP	PROPOSED PLAT CALLS
○ PP	POWER POLE
☆	LIGHT POLE
⚡	ELECTRIC TRANSFORMER
⚙	WATER METER
⚙	WATER VALVE
⚙	FIRE HYDRANT
⚙	TELEPHONE PEDESTAL
⚙	HANDHOLE
⚙	GAS VALVE
⚙	GAS PIPELINE MARKER
⚙	SEWER MANHOLE
⚙	AREA INLET
⚙	CURB INLET
⚙	STORM SEWER MANHOLE
⚙	SIGN



OKLAHOMA
SYSTEM, INC.
800-522-OKIE (6543)
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OKC (405) 840-5032

THE UTILITIES AS SHOWN ON THIS DRAWING WERE DEVELOPED FROM THE INFORMATION AVAILABLE, THIS IS NOT IMPLIED NOR INTENDED TO BE THE COMPLETE INVENTORY OF UTILITIES IN THIS AREA. IT IS THE CLIENT'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES (WHETHER SHOWN OR NOT) AND PROTECT SAID UTILITIES FROM ANY DAMAGE.

DATUM INFORMATION

BEARINGS ARE ON
OKLAHOMA STATE PLANE
COORDINATE SYSTEM
OKLAHOMA NORTH ZONE DATUM
NAD 83, NAVD 88, U.S. FEET.

CONTROL MONUMENT DESIGNATION
ALLTERRA MAPPING PLANE
GRID NORTH IS (N 00°00'00" E).

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

TITLE INFORMATION

TITLE COMMITMENT HAS NOT BEEN PROVIDED BY THE CLIENT.

TITLE COMMITMENT DESCRIPTION

TITLE COMMITMENT HAS NOT BEEN PROVIDED BY THE CLIENT.

RECOMMENDED LEGAL DESCRIPTION

LOT ONE (1), IN BLOCK (1), OF MUSTANG MARKETPLACE, TO THE CITY OF MUSTANG, CANADIAN COUNTY, OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF. (NOTE: THE PLAT OF MUSTANG MARKETPLACE HAS NOT YET BEEN FILED.)

SURVEYOR'S CERTIFICATE

TO: CIVIL ENGINEERING SERVICES, P.O. BOX 1302, FAIRVIEW, TENNESSEE 37062

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B), 8, 9, 10, 11(A), 11(B), 12, 13, 14, 16, 17, 18, AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 12, 2022. UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF OKLAHOMA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN. THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MINIMUM STANDARDS FOR THE STATE OF OKLAHOMA.

NOVEMBER 4, 2022

SPENCER JIVIDEN, O.L.S. 1904

STATE OF OKLAHOMA

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS 4TH DAY OF NOVEMBER, 2022, PERSONALLY APPEARED SPENCER JIVIDEN TO ME KNOWN TO BE THE IDENTICAL PERSON WHO SUBSCRIBED THE NAME OF THE MAKER THEREOF AND THAT HE EXECUTED THE SAME AS HIS FREE AND VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN SET FORTH.

MY COMMISSION EXPIRES: 6/30/2025
MY COMMISSION NUMBER: 05006036

NOTARY PUBLIC

SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR PRESENT.
SURVEYING IS AN INEXACT SCIENCE AND IS SUBJECT TO CERTAIN DEGREE OF INACCURACY AND OPINION.



JIVIDEN AND COMPANY, P.L.L.C.
PROFESSIONAL SURVEYING SERVICES
3405 E. Memorial Road
Edmond, Oklahoma 73013
C.A. 4151 - Expires June 30, 2023
Office (405) 478-0772 Office (405) 2SU-RVEY
Fax (405) 478-3272 (405) 278-7839

<http://www.jacsurvey.com>

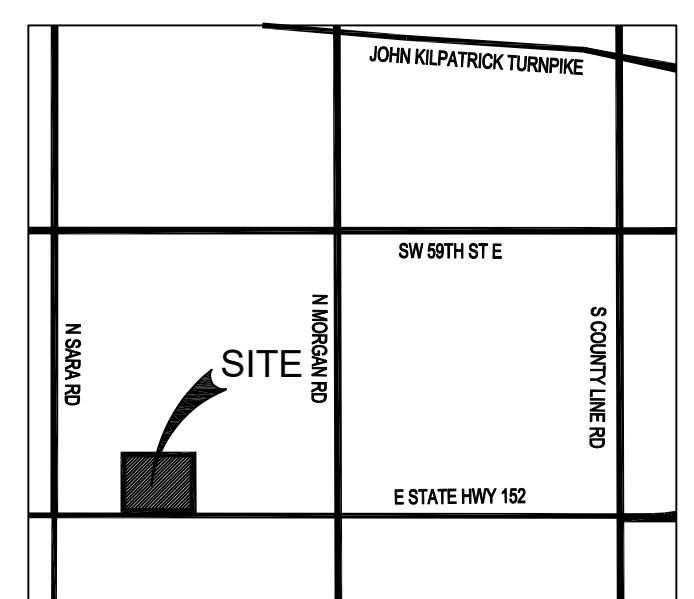
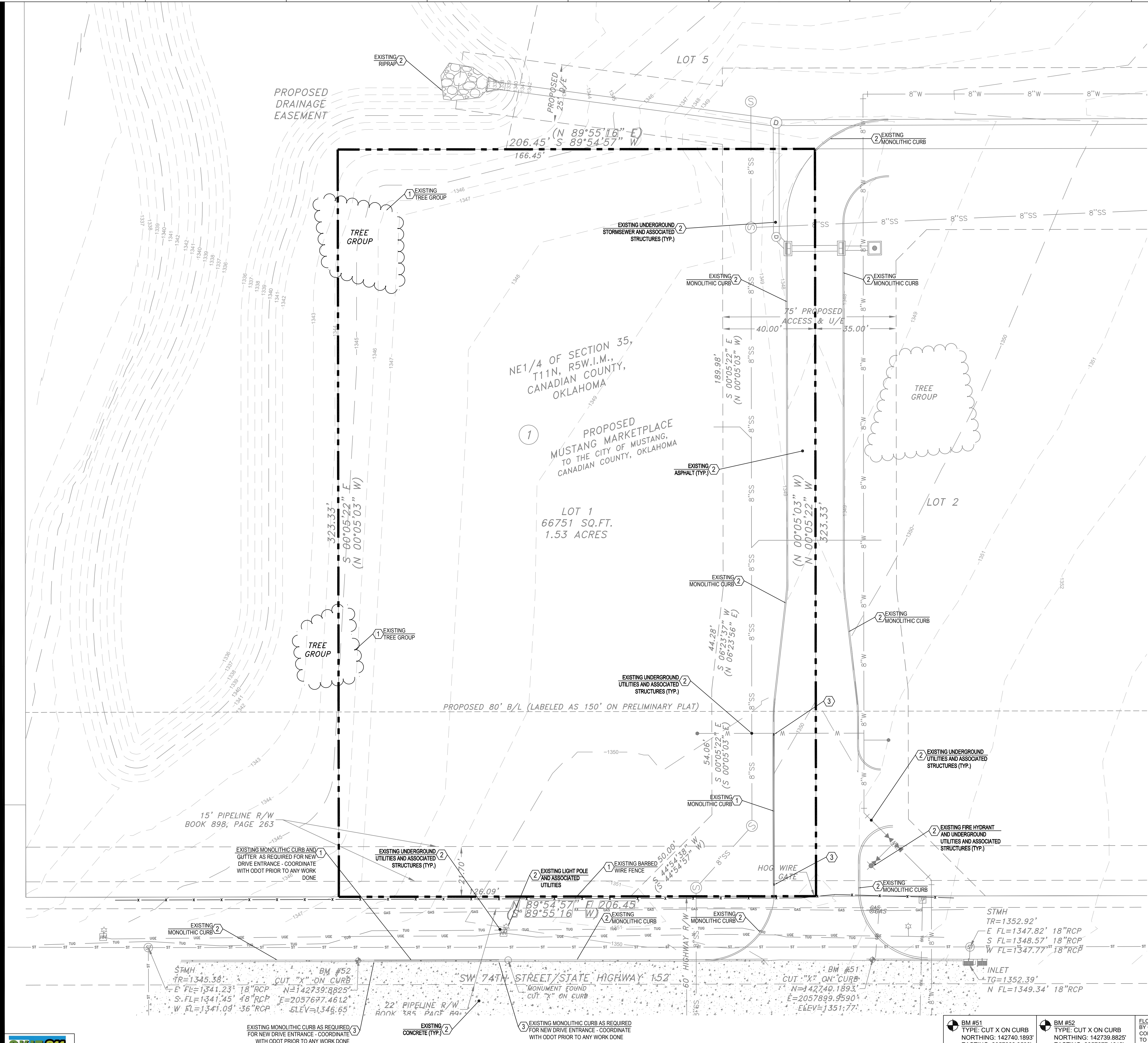
VERIFY SCALE

0" 1"
BAR IS ONE INCH ORIGINAL
DRAWING. IF NOT ONE INCH
ON THIS SHEET, ADJUST SCALES
ACCORDINGLY.

CIVIL ENGINEERING SERVICES
P.O. BOX 1302
FAIRVIEW, TENNESSEE 37062

DATE DRAWN NOVEMBER 2, 2022
DRAWN BY R. WOODS
PROJECT NO. 183-22 - R05WIM, T11N, Section 26, SW
DWG NAME 183-22 alta.dwg

Page 1 of 1



LOCATION MAP
NOT TO SCALE

DEMO LEGEND

- PROPOSED ASPHALT OR CONCRETE SAWCUT
- EXISTING ASPHALT TO BE REMOVED
- REMOVE EXISTING TREE

SEE DEMOLITION NOTE ON SHEET C01.1

DEMOLITION KEY NOTES

- 1 REMOVE EXISTING STRUCTURE
- 2 PROTECT EXISTING STRUCTURE
- 3 SAWCUT ASPHALT / CONCRETE

CONSTRUCTION NOTE:
DESIGN OF THE PANDA EXPRESS SITE, AS SHOWN IN THESE PLANS, ARE BASED UPON THE PROPOSED CONSTRUCTION PLANS FOR THE SUBJECT PROPERTY AND SURROUNDING SITE WORK. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS, UTILITIES, AND SITE FEATURES PRIOR TO ANY WORK DONE. NOTIFY OWNER/ENGINEER OF ANY CONFLICTS WITH DESIGN PRIOR TO ANY WORK DONE



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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REVISIONS:

ISSUE DATE:

1ST PERMIT/BID SET 03-27-2023

DRAWN BY: RLP

PANDA PROJECT #: S8-23-D24283

PANDA STORE #: D24283



Civil Engineering Services
Engineering, Land Planning,
and Environmental

7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401
e-mail: ray@civilingineeringservices.net

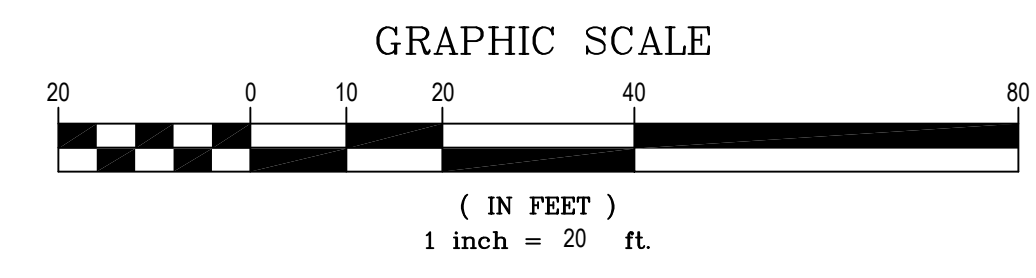
PANDA EXPRESS

TRUE WARM & WELCOME
HIGHWAY 152 & HUNKER TERRACE
MUSTANG, OK 73064

DEMOLITION PLAN

C02.1

TRUE WARM & WELCOME 2600 RX



BM #51
TYPE: CUT X ON CURB
NORTHING: 142740.1893
EASTING: 2057899.9590
ELEVATION: 1351.77

BM #52
TYPE: CUT X ON CURB
NORTHING: 142739.8825
EASTING: 2057677.4612
ELEVATION: 1346.65

FLOOD STATEMENT:
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 400100404H DATED SEPTEMBER 28, 2008. NO FIELD SURVEY WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY. ZONE "X" DENOTES AREAS OF 0.2% ANNUAL CHANCE FLOOD OR AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE.

SITE DATA TABLE

JURISDICTION:
CITY

ZONING:
C-5 COMMERCIAL INTENSIVE DISTRICT

REQUIRED BUILDING SETBACKS:
FRONT (S)= 5'
REAR (N) = 30'
SIDE (W) = 5'
SIDE (E) = 5'

SITE ACREAGE:
PANDA EXPRESS = 66,751 SF / 1.53 ACRES

FLOOR AREA RATIO:
PANDA EXPRESS = 2,697 SF BLDG /
SITE AREA 66,751 = 4.04%

IMPERVIOUS SURFACE RATIO
SITE TOTAL SQ FEET = 66,751 SF
PAVEMENT/SIDEWALKS = 53,171 SF
TOTAL BUILDING = 2,697 SF
TOTAL PERVIOUS = 10,884 SF
TOTAL IMPERVIOUS = 55,868 SF / 66,751 =
83.70%

PARKING
1 SPACE PER 50 SF OF FLOOR AREA
PARKING REQUIRED = 54
TOTAL PARKING PROVIDED PANDA EXPRESS
= 73

REQUIRED PARKING SETBACKS:
FRONT (N)= 0'
REAR (S) = 0'
SIDE (W) = 0'
SIDE (E) = 0'

FLOOD HAZARD:
F.I.R.M. MAP NO. 40017C 0440H, DATED
EFFECTIVE ON 09/26/2008

PROPOSED
DRAINAGE
EASEMENT

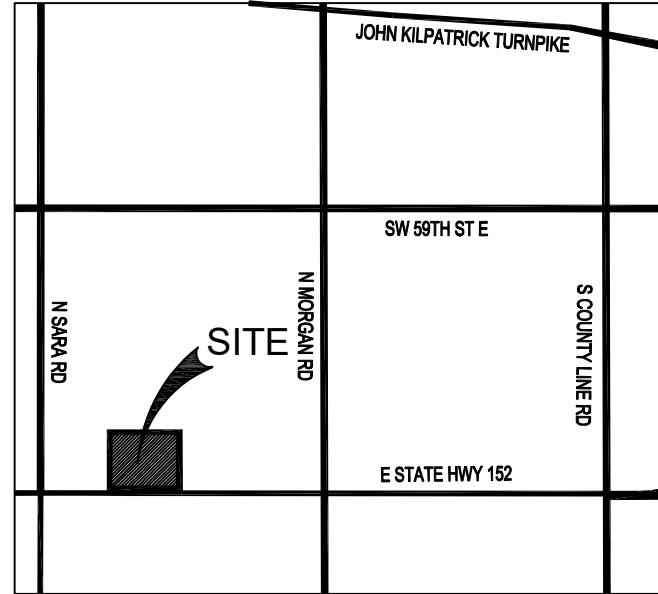
CONSTRUCTION NOTE:
DESIGN OF THE PANDA EXPRESS SITE, AS SHOWN IN THESE
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PLANS FOR THE SUBJECT PROPERTY AND SURROUNDING
SITE WORK. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS,
UTILITIES, AND SITE FEATURES PRIOR TO ANY WORK DONE.
NOTIFY OWNER/ENGINEER OF ANY CONFLICTS WITH DESIGN
PRIOR TO ANY WORK DONE

IF EXISTING SIDEWALKS ARE DAMAGED, THESE
MUST BE REPAIRED AT THE DEVELOPER'S
EXPENSE.

ALL DISTURBED AREAS SHALL BE STABILIZED
PER THE LANDSCAPE PLAN.

PROPOSED SITE LEGEND

- (8) PARKING STALL COUNT - SEE PLANS
- LIGHT DUTY CONCRETE PAVING - SEE DETAIL SHEET SECTION (C03.1)
- HEAVY DUTY CONCRETE PAVING - SEE DETAIL SHEET SECTION (C03.1)
- CONCRETE SIDEWALK - SEE DETAIL SHEET (C03.1)
- CONCRETE PAVING AT DUMPSTER ENCLOSURE AND DRIVE THRU PER GEOTECHNICAL REPORT
- HANDICAP PARKING
- DIRECTIONAL ARROWS
- PROPOSED CURB AND GUTTER AT CONCRETE - MONOLITHIC AT CONCRETE PAVEMENT - SEE DETAIL SHEET (C03.1)
- LIGHT POLE - SEE PHOTO METRIC PLAN - SEE LIGHT POLE BASE ON DETAIL SHEET (C03.1)



LOCATION MAP
NOT TO SCALE

GENERAL NOTES

SEE NOTES ON SHEET C01.1

SITE KEY NOTES:

PAVEMENT AND CURBING

- (1) PROVIDE CURB AND GUTTER AT ASPHALT - MONOLITHIC CURB AT CONCRETE PAVEMENT - SEE DETAIL SHEET (C03.1)
- (2) PROVIDE CONCRETE SIDEWALKS PER DETAIL SHEET (C03.2) - PROVIDE CONCRETE SIDEWALK WITH INTEGRAL CURB AT BUILDING AND PARKING PER DETAIL SHEET (C03.1)
- (3) HEAVY DUTY CONCRETE PAVING AT DRIVE THRU ISLE - SEE DETAIL SHEET (C03.1) & GEOTECHNICAL REPORT (GRAY COLOR, LIGHT BROOM FINISH)
- (4) NEW HEAVY DUTY CONCRETE APRON AT DUMPSTER ENCLOSURE - SEE ARCHITECTURAL DETAIL SHEET - SEE DETAIL SHEET (C03.1)
- (5) LIGHT DUTY CONCRETE PAVING - SEE DETAIL SHEET (C03.1) & GEOTECHNICAL REPORT
- (6) HEAVY DUTY CONCRETE PAVING - SEE DETAIL SHEET (C03.1) & GEOTECHNICAL REPORT
- (7) SEALED CONC. SIDEWALK (AQUA MIX SEALER'S CHOICE GOLD), CONCRETE TO BE LIGHT BROOM TEXTURE FINISH. PROVIDE UNDER SLAB TREATMENT PER SOIL REPORT. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. AND ALL SIDE WALKS.
- (8) EXPANSION JOINT - SEE GEOTECHNICAL REPORT FOR SPACING - SEE DETAIL SHEET (C03.1)
- (9) CONTROL JOINTS - SEE GEOTECHNICAL REPORT FOR SPACING - SEE DETAIL SHEET (C03.1)

PAVEMENT STRIPING / ADA FEATURES / TRAFFIC SIGNAGE

- (15) ADA ACCESSIBLE RAMP AT BUILDING - SEE GRADING PLAN FOR ELEVATIONS - SEE HANDICAP PARKING ON DETAIL SHEET (C03.1)
- (16) ADA DETECTABLE WARNING AT EDGE OF PAVEMENT - SEE HANDICAP PARKING DETAIL ON DETAIL SHEET (C03.1)
- (17) HANDICAP AND VAN ACCESSIBLE PARKING LAYOUT, SIGNAGE, AND STRIPING - SEE DETAIL SHEET (C03.1)
- (18) ALL SITE DIRECTIONAL SIGNAGE, PAVEMENT STRIPING AND MARKINGS SHALL BE COORDINATED WITH PRG'S PROJECT MANAGER.
- (19) DO NOT ENTER SIGN PER MUTCD / LOCAL SPECS.
- (20) 4" WIDE PARKING STRIPE PAINTED YELLOW PER MUTCD SPECS.
- (21) TRAFFIC ARROW PAINTED YELLOW - SEE DETAIL SHEET (C03.1)
- (22) STOP BAR PAINTED WHITE PER MUTCD SPECS.
- (23) *STOP* SIGN PER MUTCD/LOCAL MUNICIPALITY SPECIFICATIONS
- (24) 4" WIDE PARKING STRIPE, SPACED AT 2' O.C. AT 45° PAINTED YELLOW PER MUTCD SPECS.
- (25) BOLLARD PLAN - SEE DETAIL (C03.2)

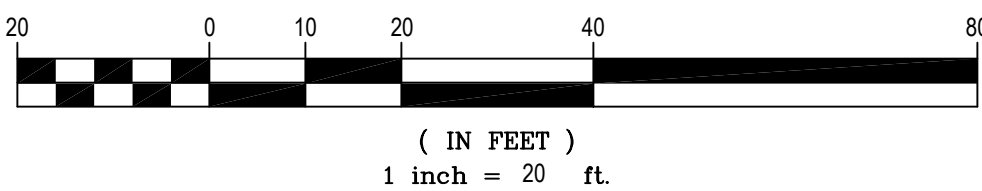
PANDA EXPRESS SITE FEATURES

- (30) DRIVE THRU LANE SENSOR LOOP SEE DETAIL - SEE ARCH DETAIL SHEET
- (31) NEW PAINTED SWITCHGEAR LOCATION - SEE ELECTRICAL PLANS
- (32) ORDER CONFIRMATION BOARD - SEE ARCH DETAIL SHEET
- (33) DRIVE THROUGH MENU BOARD-INSTALLED BY GC. VERIFY WITH PANDA P.M. - SEE ARCH DETAIL SHEET
- (34) CLEARANCE BAR INSTALLED BY SIGN VENDOR - RE: ELECTRICAL DRAWING FOR REQUIREMENTS, G.C. TO COORDINATE LOCATION WITH PRG P.M.
- (35) WHEEL STOP - GNR TECHNOLOGIES, "PARK-IT" 6" PARKING CURB #16201R (BLACK AND YELLOW) OR OWNER APPROVED EQUAL
- (36) TRASH ENCLOSURE, CONFIRM BIN SIZE WITH LOCAL WASTE MANAGEMENT COMPANY. (TYP. 6 YARD BIN) - SEE ARCH DETAIL SHEET
- (37) PROVIDE POLE MOUNTED SIGN (SEE SIGN DESIGN BY OTHERS)
- (38) LIGHT POLE - SEE PHOTO METRIC PLAN - SEE LIGHT POLE BASE ON DETAIL SHEET (C03.1)
- (39) TIE TO ROOF DRAIN COLLECTOR FROM BUILDING - SEE PLUMBING PLANS FOR UNDERGROUND CONNECTION AT BUILDING - SEE ELEVATION THIS SHEET - OVERFLOW PIPE FROM ROOF DRAIN TO DAYLIGHT UNDER CONCRETE FLATWORK AT FACE OF CURB - SEE PLUMBING PLANS FOR LOCATION
- (40) APPROXIMATE LOCATION OF PAD MOUNTED TRANSFORMER PAD PER SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO CONSTRUCTION
- (41) EDGE OF CONCRETE SIDEWALK AT PLANTER BED - SEE LANDSCAPE PLAN (L01.0)
- (42) *THANK YOU / DO NOT ENTER* SIGN

ADDITIONAL SITE FEATURES

- (50) MATCH EXISTING GRADE
- (51) SIDEWALK RAMP PER ODOT SPECS.
- (52) SIDEWALK PER ODOT SPECS.
- (53) BOLLARD PER SERVICE PROVIDER SPECS. - COORDINATE WITH SERVICE PROVIDER PRIOR TO ANY WORK DONE
- (54) CURB AND GUTTER IN R.O.W. PER ODOT SPECS.

GRAPHIC SCALE



FLOOD STATEMENT:
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 40017C0440H DATED SEPTEMBER 26, 2008. NO FIELD SURVEY WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY. ZONE "X" DENOTES AREAS OF 0.2% ANNUAL CHANCE FLOOD OR AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE.



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REVISIONS:

NO.	DESCRIPTION	DATE

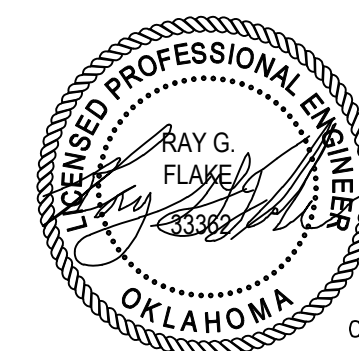
ISSUE DATE:

1ST PERMIT/BID SET 03-27-2023

DRAWN BY: RLP

PANDA PROJECT #: S8-23-D24283

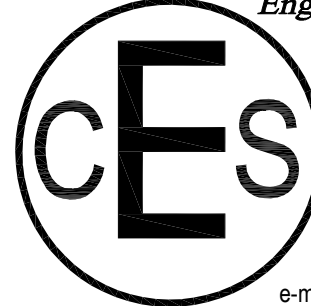
PANDA STORE #: D24283



03/27/2023

Civil Engineering Services

Engineering, Land Planning,
and Environmental



7705 Spicer Farm Lane
Fairview, Tennessee
37062
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net

PANDA EXPRESS

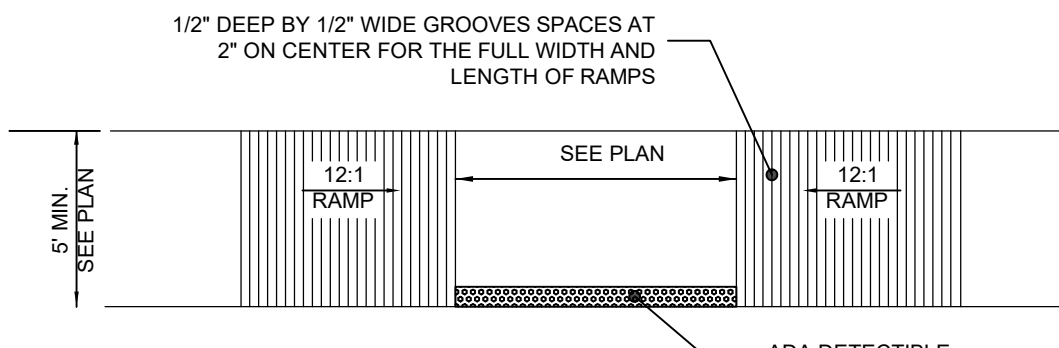
TRUE WARM & WELCOME
HIGHWAY 152 & HUNKER TERRACE
MUSTANG, OK 73064

SITE PLAN

C03.0

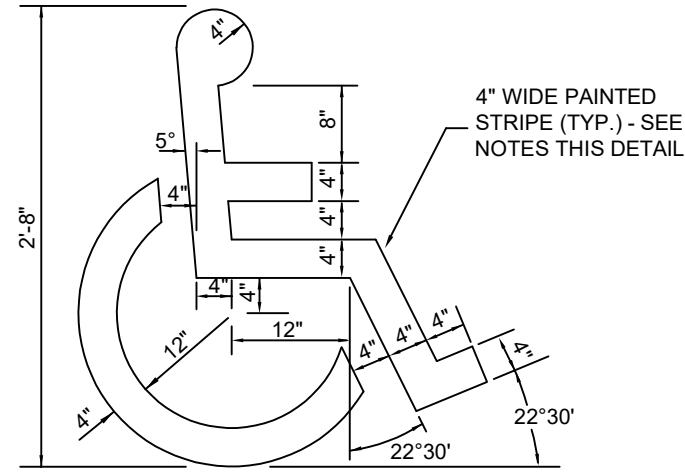
TRUE WARM & WELCOME 2600 RX





HANDICAP PARKING DETAILS

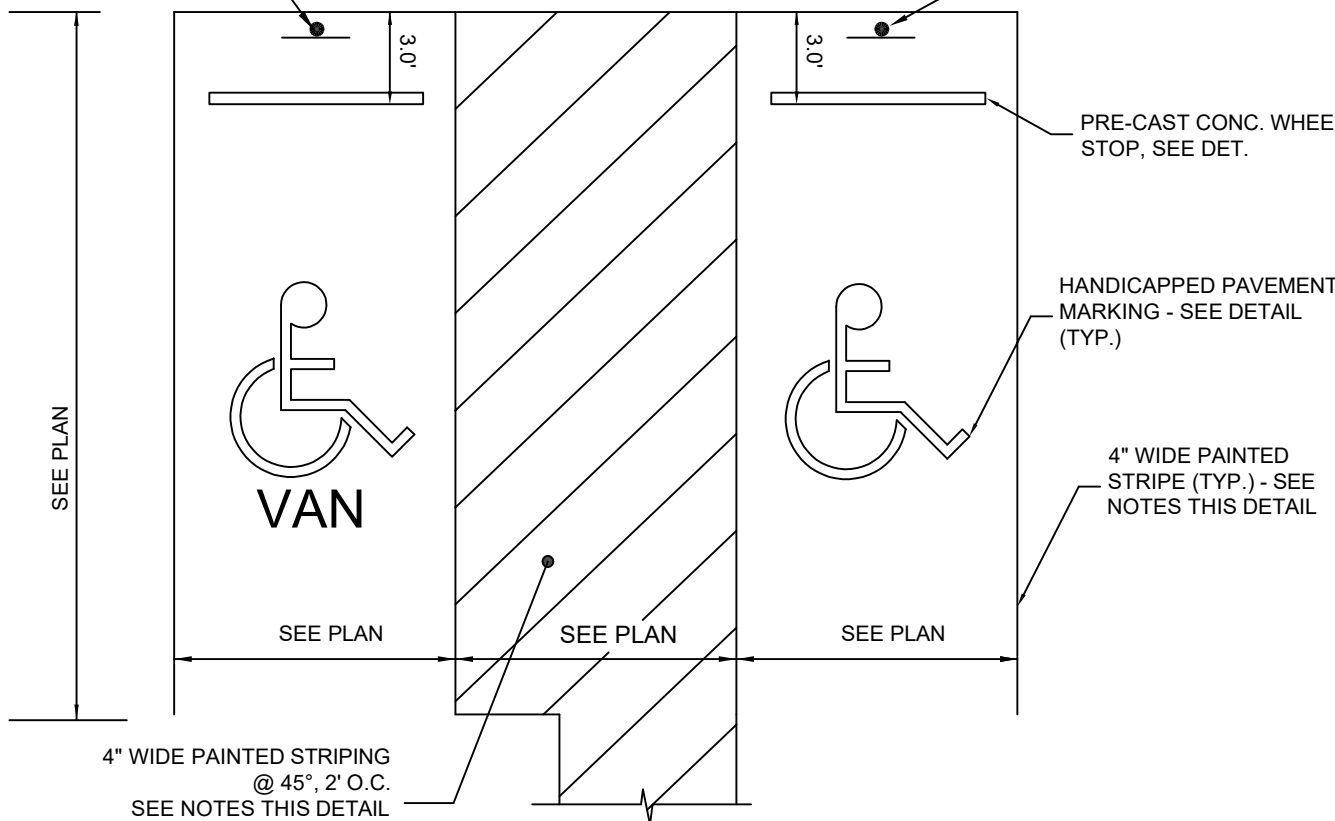
N.T.S.



HANDICAP SYMBOL

N.T.S.

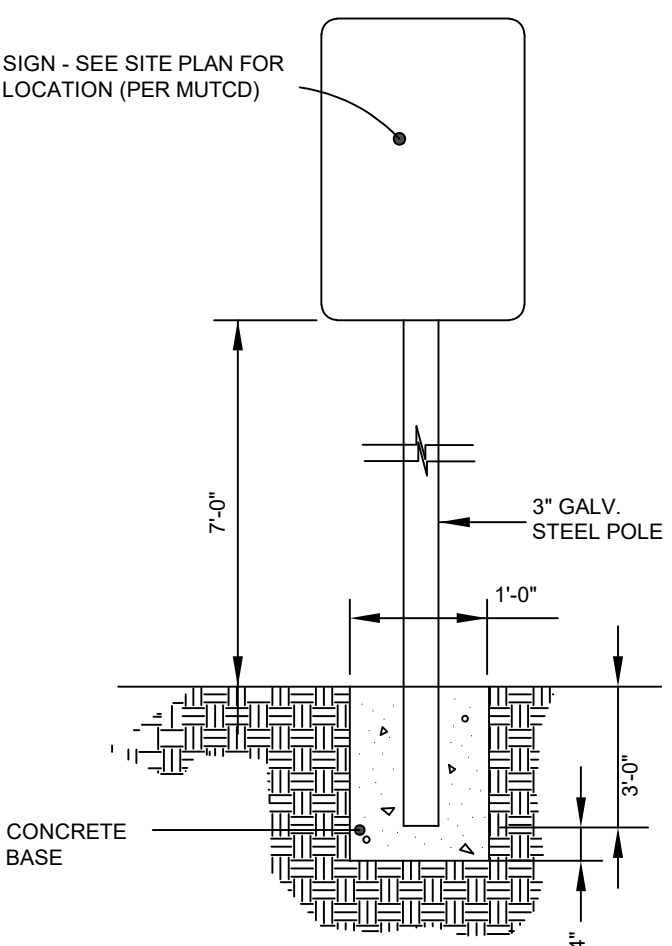
VAN ACCESSIBLE/
HANDICAP PARKING SIGN AT
FACE OF BUILDING



HANDICAP PARKING DETAILS

N.T.S.

SIGN - SEE SITE PLAN FOR
LOCATION (PER MUTCD)



SIGN DETAIL

N.T.S.

NOTES:

1. METAL SURFACES SHALL BE FREE OF HEAVY RUST. BOLLARDS SHALL HAVE 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW B55Y300
2. SIGNAGE SHALL COMPLY WITH AMERICAN'S WITH DISABILITIES ACT (A.D.A.) SIGNAGE GUIDELINES
3. ALL PAINTED ADA PARKING SURFACES SHALL BE CLEAN AND DRY. TOP COAT PROVIDE TWO (2) COATS SHERWIN WILLIAMS - PROMAR TRAFFIC MARKING PAINT "H.C." BLUE

NOTE: CONTRACTOR SHALL INSTALL IDEAL SHIELD HANDICAP BOLLARD SYSTEM - # SSH-BL-36-98-C-18, OR EQUAL, INSTALL PER MFG. SPECIFICATIONS

- POST CAP PROVIDED BY MFG.
- 7/16TH " HOLES FOR STANDARD 12"x18" HANDICAP SIGN
- 1 1/4" SCH 40 GALV. STEEL PIPE @ 98" LONG WITH HDPE SLEEVE - INSTALL PER MFG SPECIFICATIONS
- BLUE LDPE THERMOPLASTIC SLEEVE FROM MFG BUMPER POST - INSTALL PER MFG. SPECIFICATIONS
- 6" SCH 40 GALV STD STEEL PIPE FROM MFG - FILL W/ CONC. ROUND OFF TOP (TYP)
- SIDEWALK OR FIN. GRADE
- CONCRETE

POST

N.T.S.

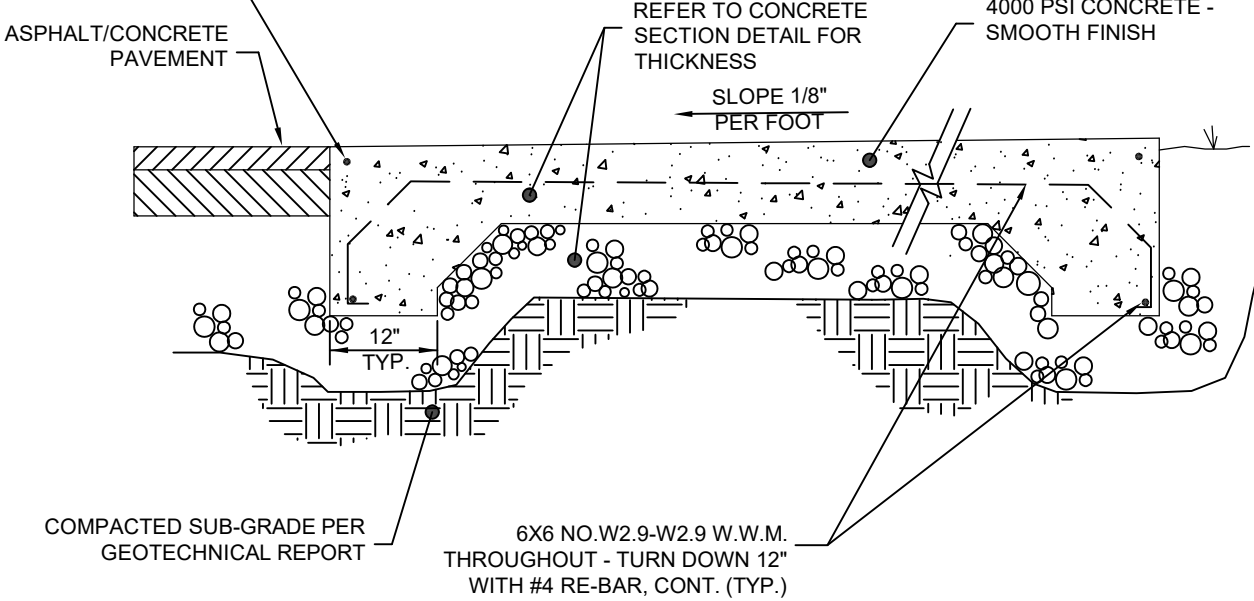
HANDICAP SIGNAGE
PROVIDED AND INSTALLED
BY G.C.



PARTIAL ELEVATION

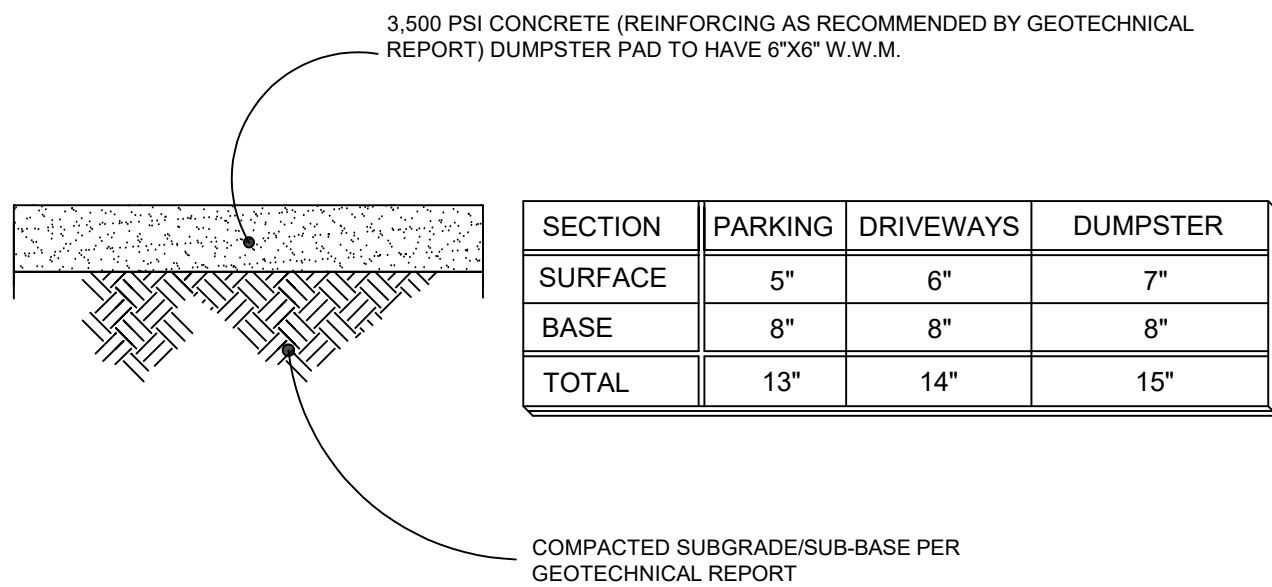
N.T.S.

TURNED DOWN CURB WITH #4
RE-BAR, CONT. 2" CLR. (TYP.)



DUMPSTER PAD DETAIL

N.T.S.

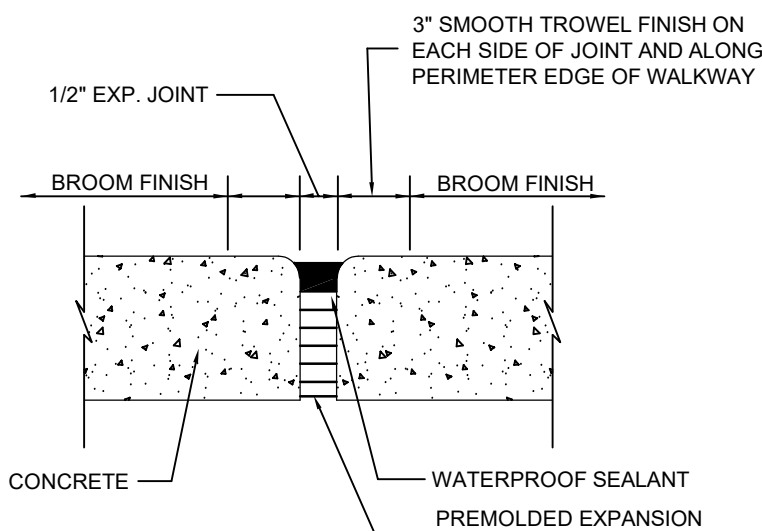


NOTE:

1. SEE CONTROL AND EXPANSION JOINT DETAILS THIS SHEET
2. SEE GEOTECHNICAL REPORT FOR TREATED SUBBASE OPTIONS
3. SEE GEOTECHNICAL REPORT FOR STEEL REINFORCEMENT

CONCRETE PAVING DETAIL

N.T.S.



SPACING NOTE

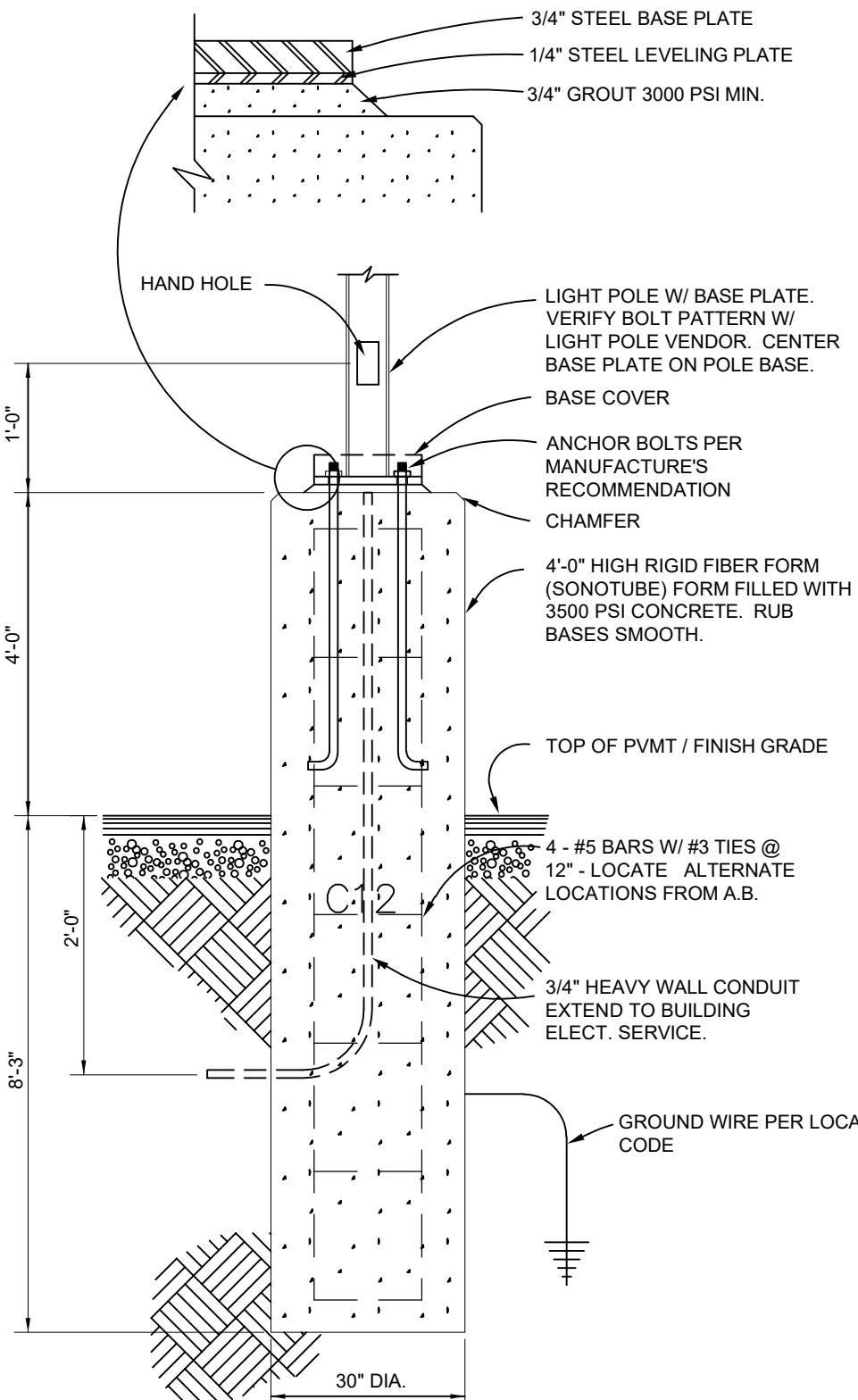
SPACE EXPANSION JOINTS PER GEOTECHNICAL REPORT

EXPANSION JOINT

N.T.S.

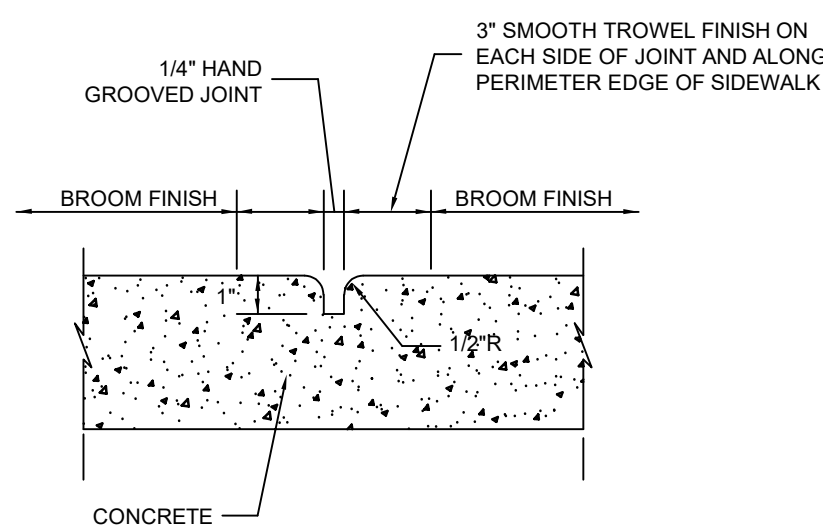
NOTES:

1. POLE BASE IS DESIGNED FOR A SOIL BEARING PRESSURE 100 PSF/FT BASED ON SOIL TYPE. CONTACT CIVIL ENGINEER IF LOWER ONSITE BEARING PRESSURE IS ENCOUNTERED.
2. DESIGN WIND SPEED IS 110 MPH. CONTACT CIVIL ENGINEER IF LOCAL CODE OR ORDINANCE REQUIRES FOR HIGHER WIND SPEED.
3. REBAR SPLICES ARE NOT PERMITTED.
4. FACTORY SUPPLIED TEMPLATE MUST BE USED WHEN SETTING ANCHOR BOLTS.
5. FOR LOCATION, SEE ES1.0/PHOTOMETRIC PLAN.



LIGHT POLE BASE DETAIL

N.T.S.

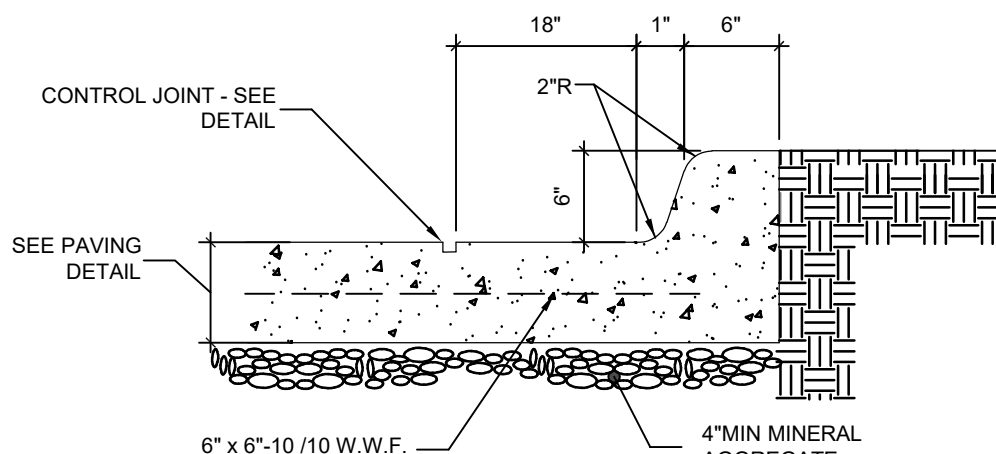


SPACING NOTE

SPACE CONTROL JOINTS PER GEOTECHNICAL REPORT

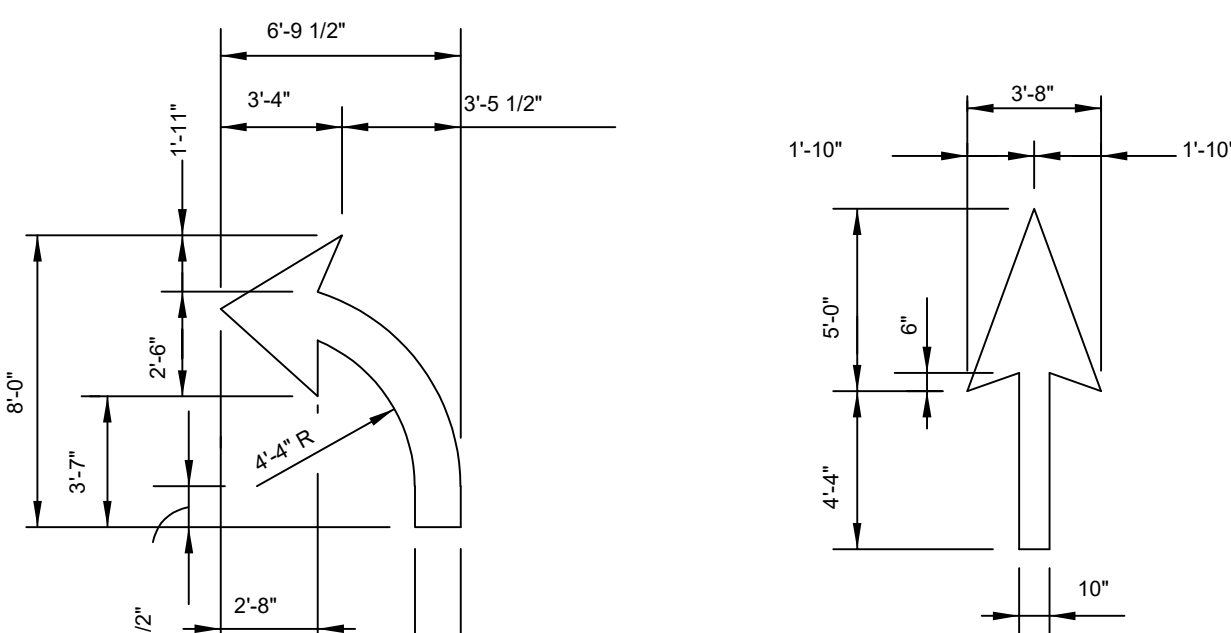
CONTROL JOINT

N.T.S.



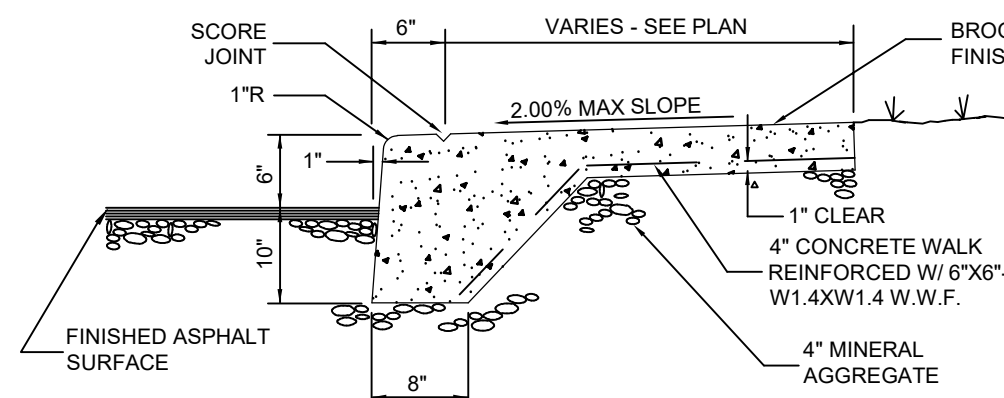
CONCRETE MONOLITHIC CURB

N.T.S.



TURN ARROW DETAILS

N.T.S.



SPACING NOTES

1. EXPANSION JOINTS SPACED AT 20' O.C. - SEE DETAIL
2. CONTROL JOINTS SPACED AT 5' O.C. - SEE DETAIL
3. WHERE SIDEWALK ABUTS FACE OF BUILDING, PROVIDE EXPANSION JOINT.

CONCRETE SIDEWALK WITH HAUNCHED CURB

N.T.S.



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REVISIONS:

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DRAWN BY: RLP

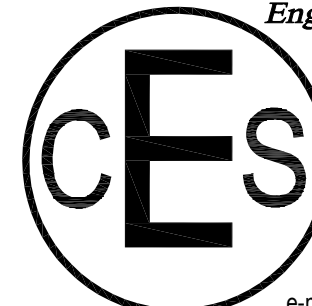
PANDA PROJECT #: S8-23-D24283

PANDA STORE #: D24283



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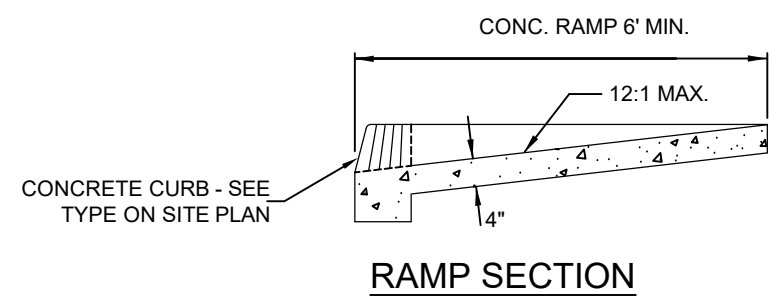
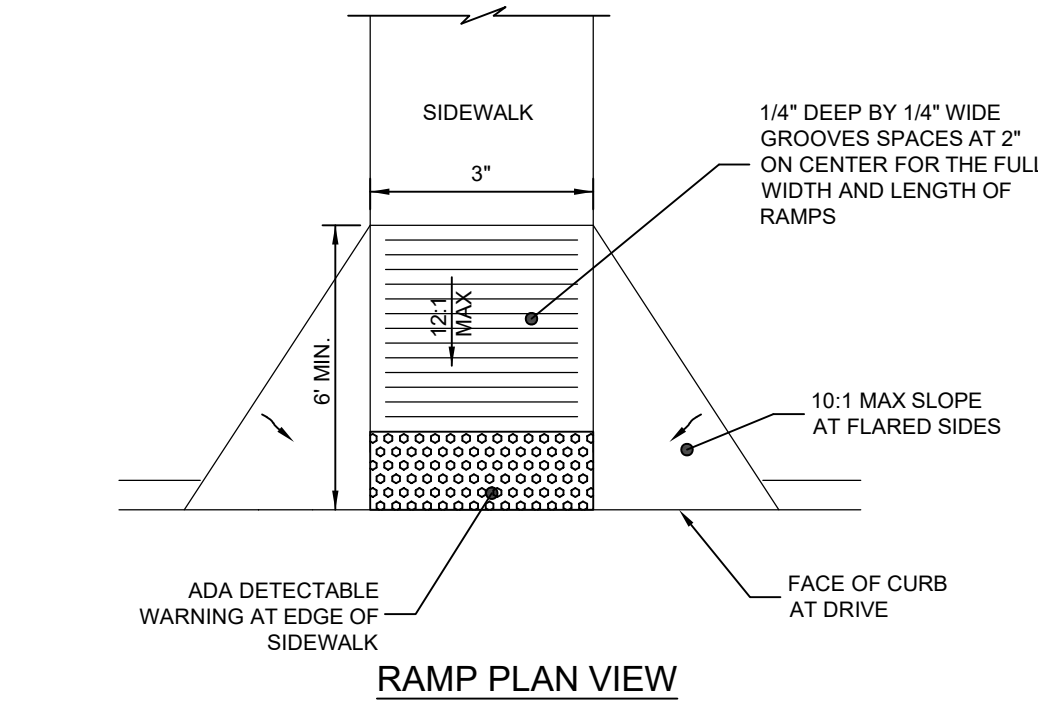
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TRUE WARM & WELCOME
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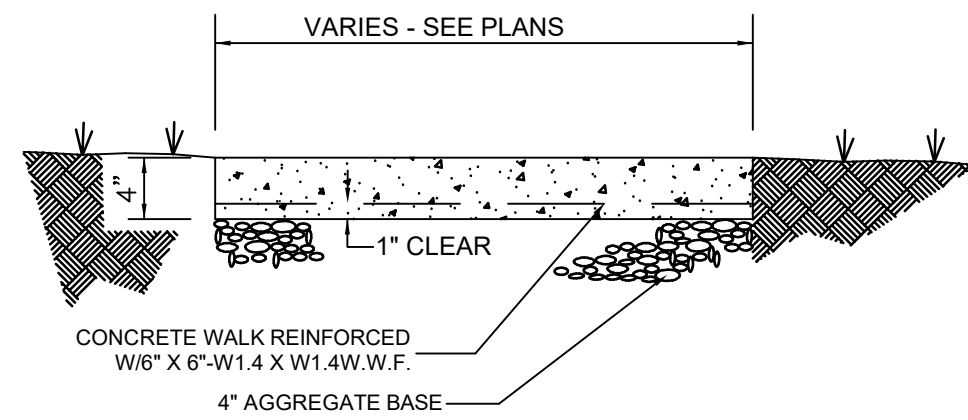
HARDSCAPE DETAILS I

C03.1

TRUE WARM & WELCOME 2600 RX

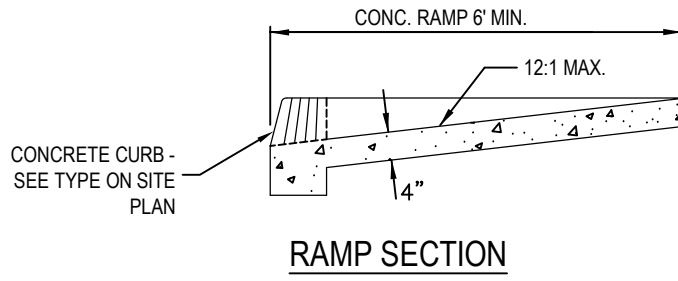
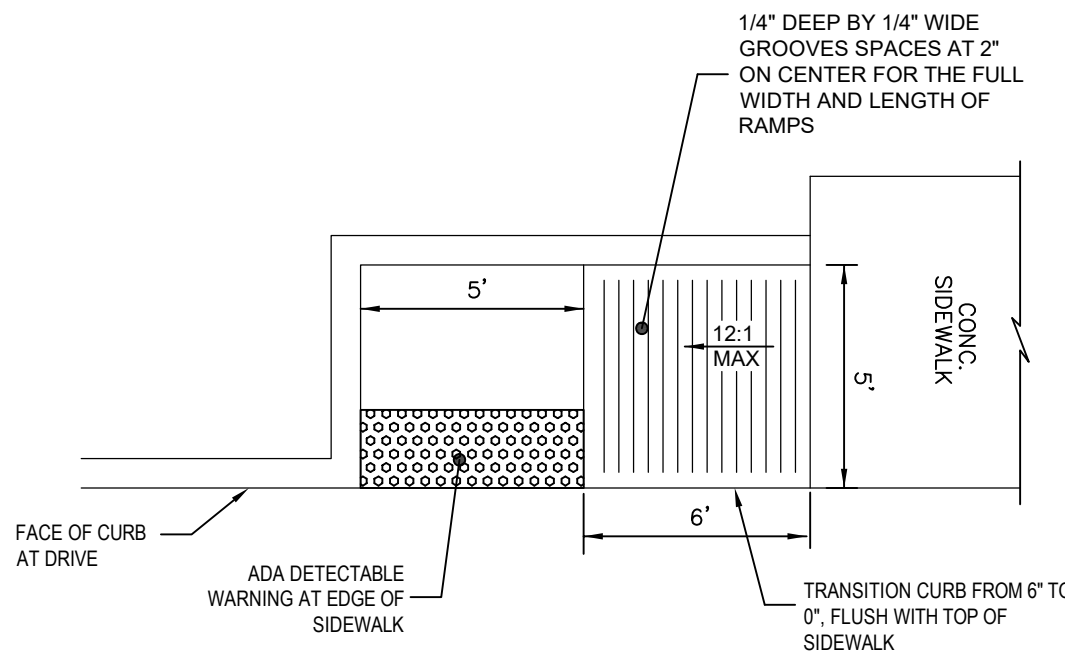


ADA ACCESSIBLE RAMP
WITH FLARED SIDE SLOPES
N.T.S.



- NOTES:
1. PROVIDE CONTROL JOINTS PER DETAIL THIS SHEET SPACED EVERY 5 FT. AND EXPANSION JOINTS PER DETAIL THIS SHEET EVERY 20 FT.
 2. SUBGRADE COMPACTED PER SOILS REPORT
 3. WHERE SIDEWALK ABUTS FACE OF BUILDING, PROVIDE EXPANSION JOINT.

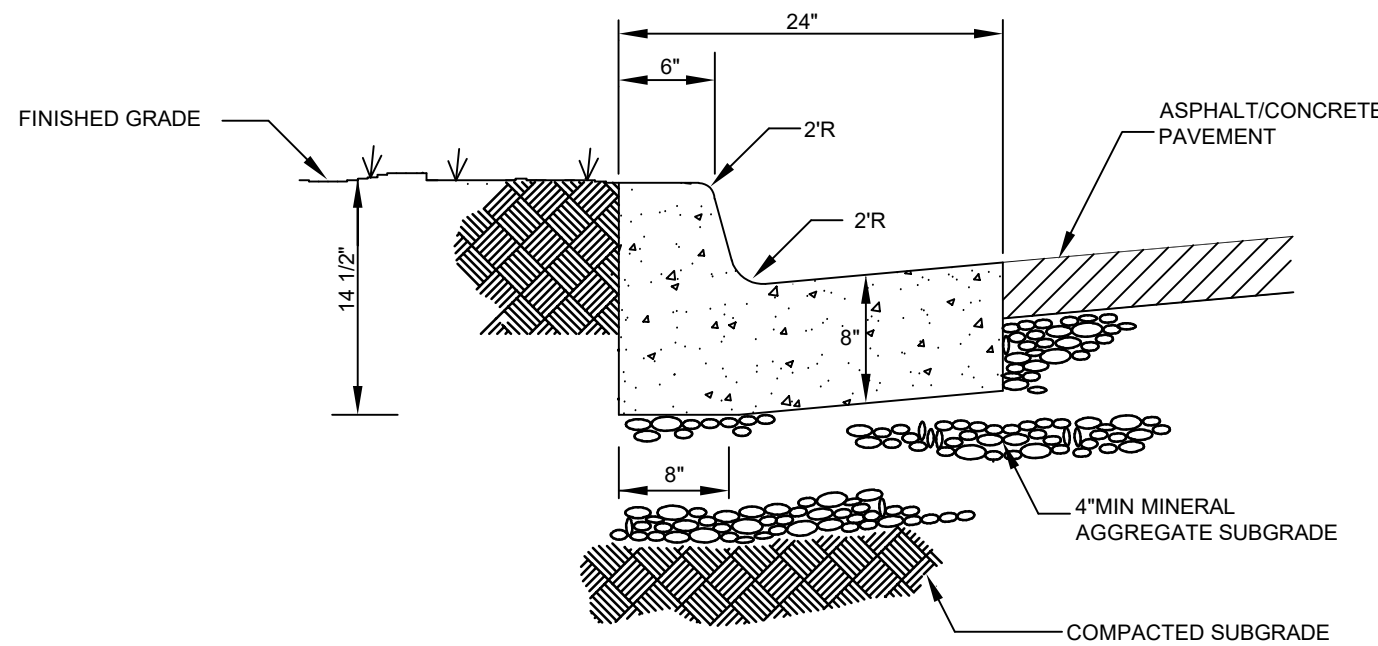
CONCRETE SIDEWALK
N.T.S.



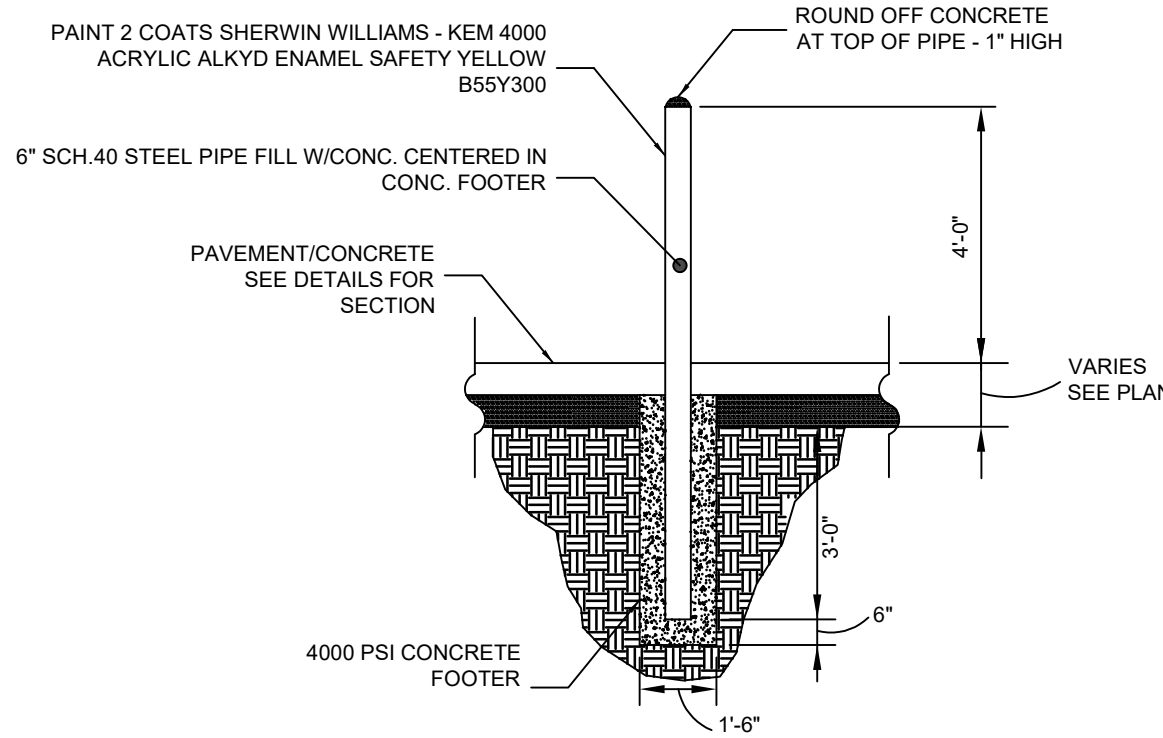
ADA ACCESSIBLE RAMP
N.T.S.

NOTE:
REVERSE SLOPE OF GUTTER WHERE PAVEMENT SLOPES AWAY FROM CURB LINE - MATCH PROPOSED PAVEMENT SLOPE

SEE GEOTECHNICAL REPORT FOR TREATED SUBBASE OPTIONS.



CONCRETE CURB & GUTTER
N.T.S.



BOLLARD DETAIL
N.T.S.



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Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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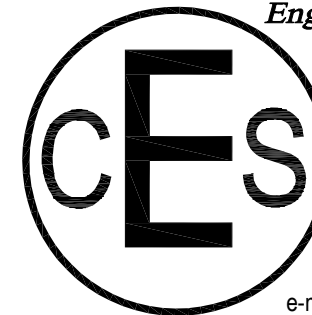
DRAWN BY: RLP

PANDA PROJECT #: S8-23-D24283

PANDA STORE #: D24283



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37062
Phone: (615) 533-0401

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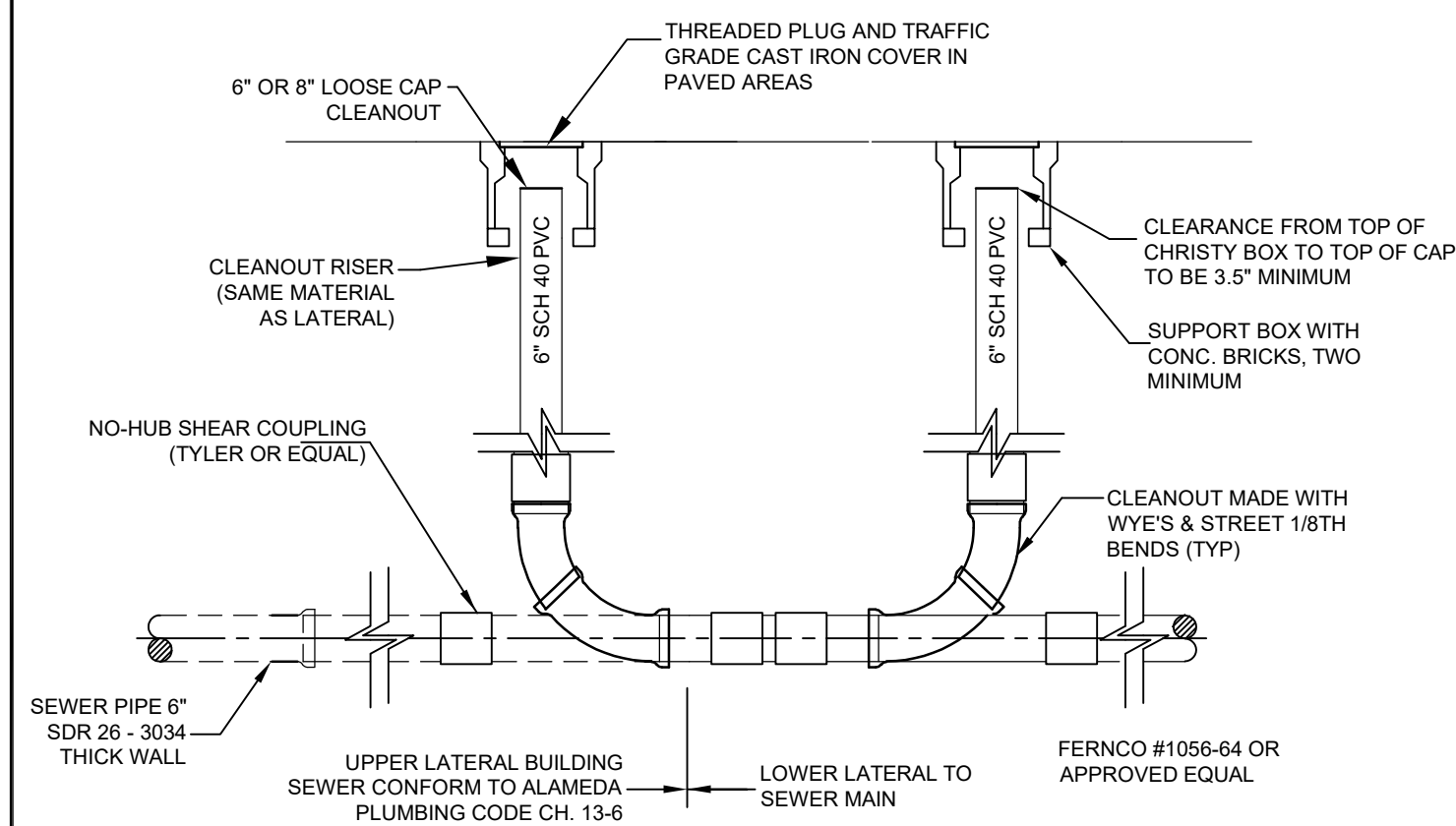
TRUE WARM & WELCOME
HIGHWAY 152 & HUNKER TERRACE
MUSTANG, OK 73064

HARDSCAPE
DETAILS II

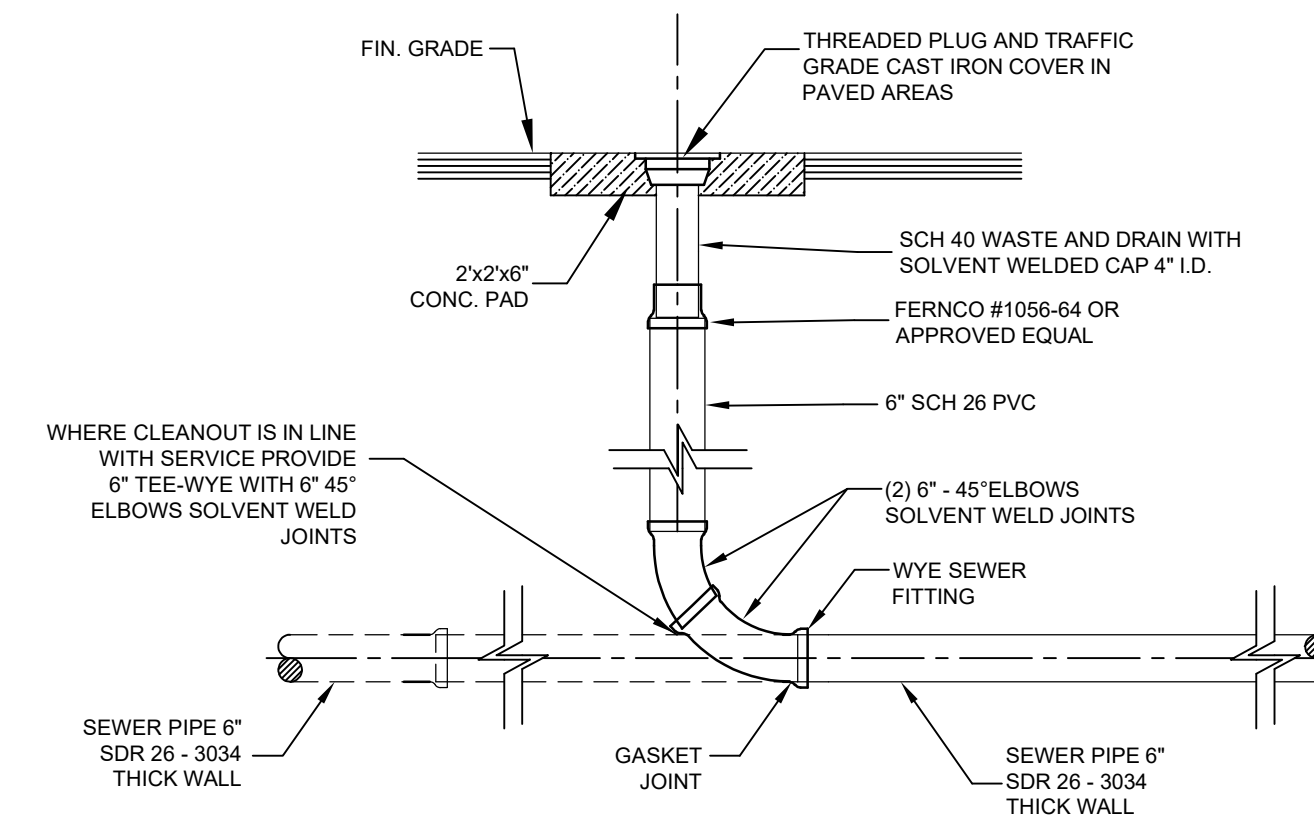
C03.2

TRUE WARM & WELCOME 2600 RX

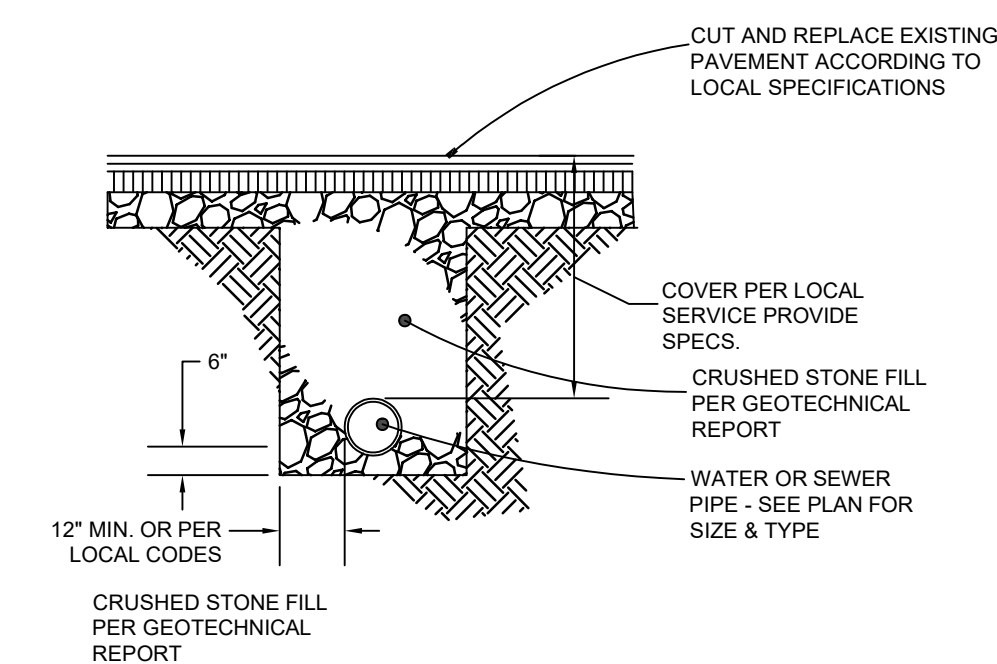




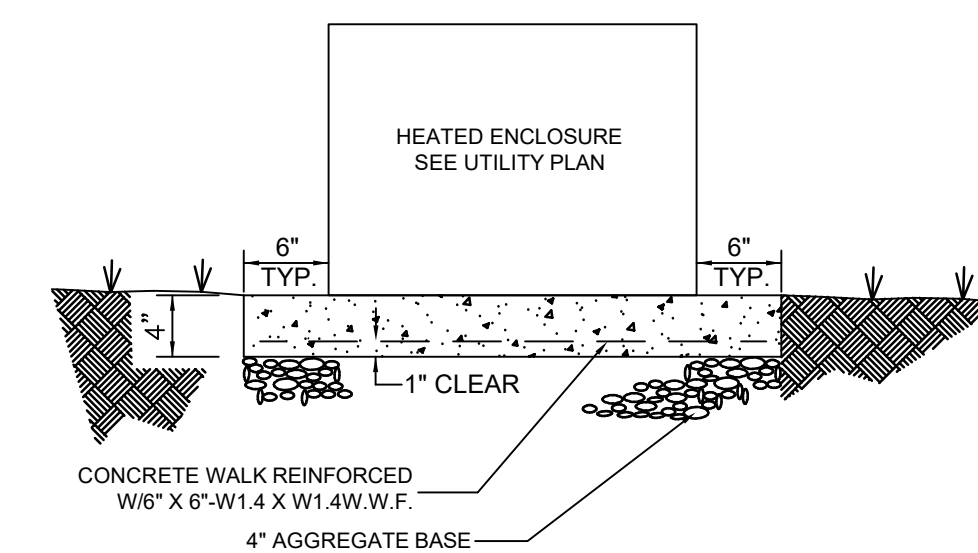
PRIVATE SANITARY SEWER TWO WAY CLEANOUT



PRIVATE SANITARY SEWER CLEANOUT
N.T.S.



UTILITY TRENCH DETAIL



CONCRETE PAD AT
BACKFLOW PREVENTER
N.T.S.



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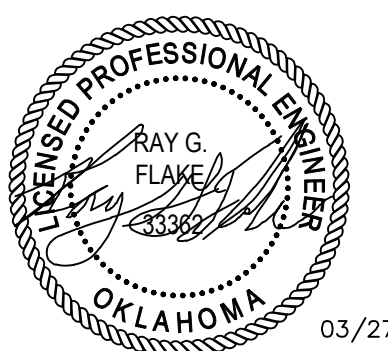
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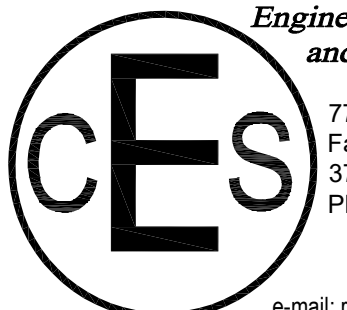
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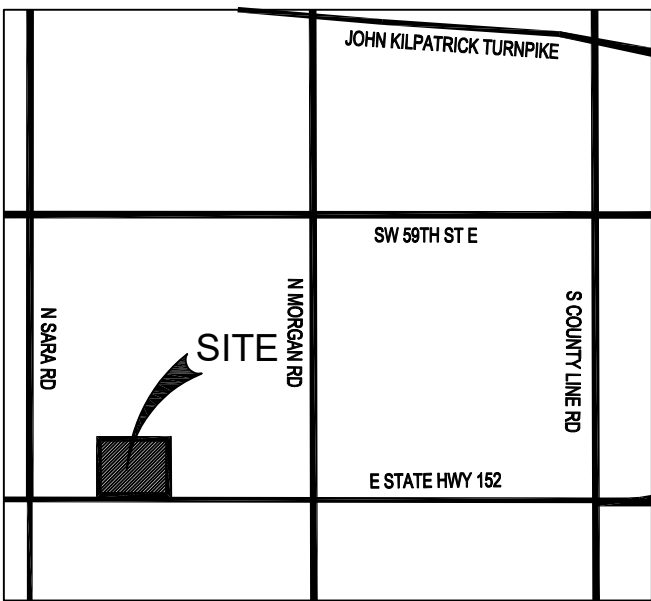
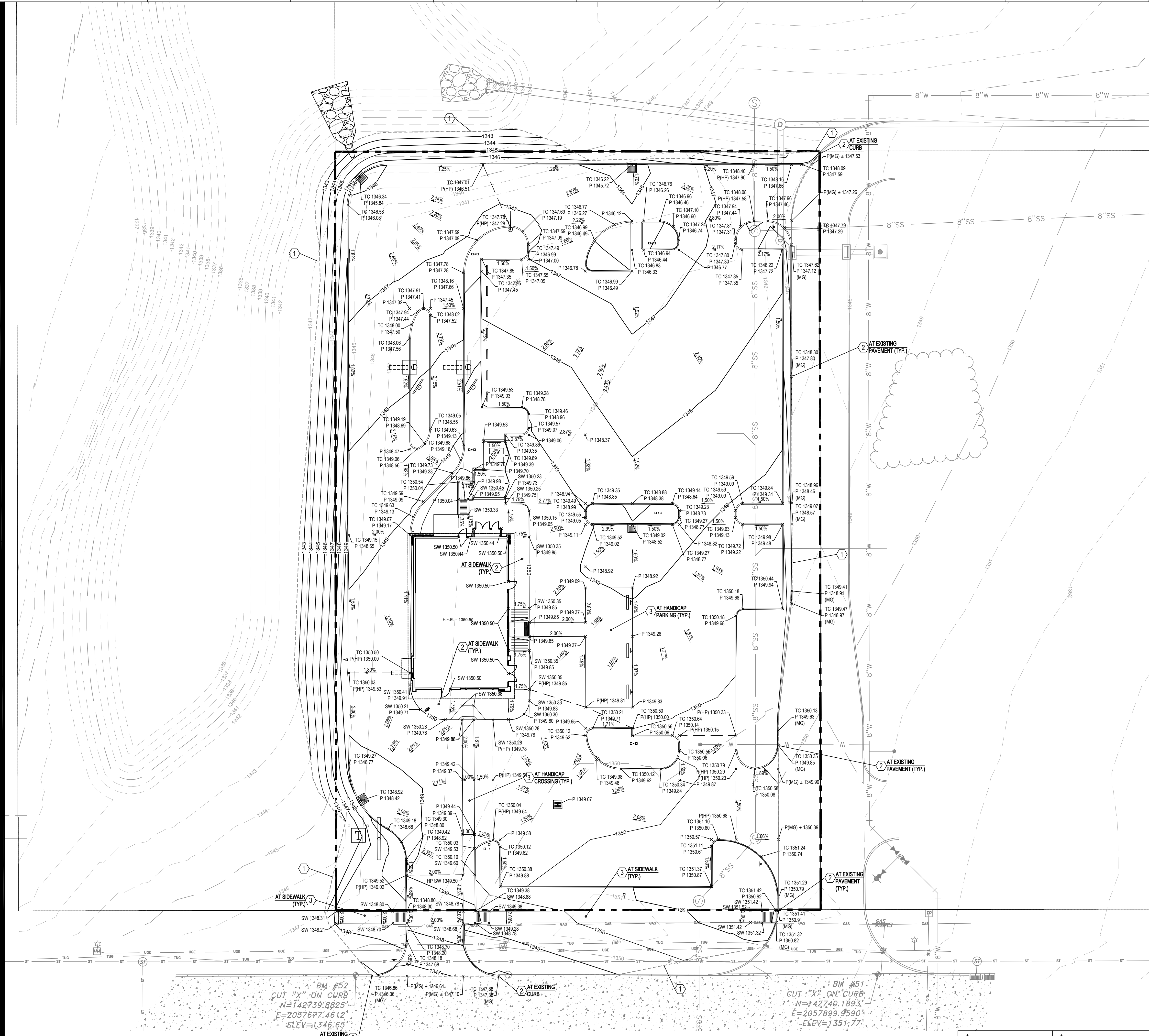
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TRUE WARM & WELCOME
HIGHWAY 152 & HUNKER TERRACE
MUSTANG, OK 73064

UTILITY DETAIL SHEET

C04.1

TRUE WARM & WELCOME 2600 RX



LOCATION MAP
NOT TO SCALE

PROPOSED GRADING LEGEND

TC	PROPOSED TOP OF CURB ELEVATION
P	PROPOSED BOTTOM OF CURB/PAVEMENT ELEVATION
G	PROPOSED GUTTER LINE ELEVATION
FG	PROPOSED FINISHED GRADE ELEVATION
SW	PROPOSED SIDEWALK ELEVATION
HP	PROPOSED HIGH POINT ELEVATION
MG	MATCH EXISTING GRADE ELEVATION
IE	PROPOSED INVERT ELEVATION
RIM	PROPOSED TOP OF GRATE ELEVATION
-----	LIMITS OF DISTURBANCE
2.00%	PROPOSED SLOPE DIRECTION
	PROPOSED STORM WATER CURB INLET
	PROPOSED STORM WATER AREA INLET

GRADING KEY NOTES

- 1 LIMITS OF LAND DISTURBANCE
- 2 MATCH EXISTING GRADE
- 3 PROVIDE 2.00% MAXIMUM CROSS SLOPE

GRADING NOTES

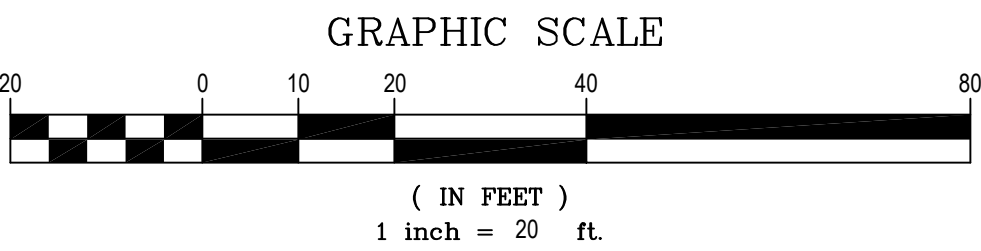
SEE SHEET C01.1 FOR GRADING NOTES

GRADING INFORMATION

LIMITS OF DISTURBANCE = 70,723 SF / 1.62 AC

ALL DISTURBED AREA SHALL BE STABILIZED WITH SOD, COMMON TO THE REGION - SEE LANDSCAPE PLAN

CONSTRUCTION NOTE:
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BM #51
TYPE: CUT X ON CURB
NORTHING: 142739.8825'
EASTING: 2057899.9590'
ELEVATION: 1351.77'

BM #52
TYPE: CUT X ON CURB
NORTHING: 142739.8825'
EASTING: 2057677.4612'
ELEVATION: 1346.65'

FLOOD STATEMENT:
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 4001C04408 DATED SEPTEMBER 28, 2008. NO FIELD SURVEY WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY. ZONE "X" DENOTES AREAS OF 0.2% ANNUAL CHANCE FLOOD OR AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE.



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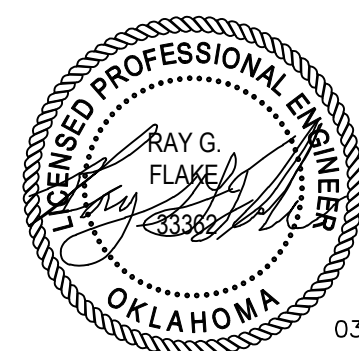
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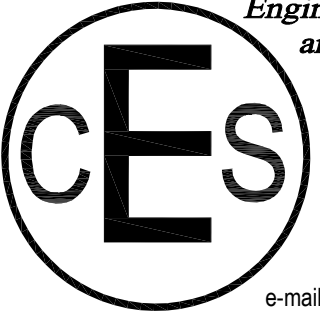
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PANDA PROJECT #: S8-23-D24283

PANDA STORE #: D24283



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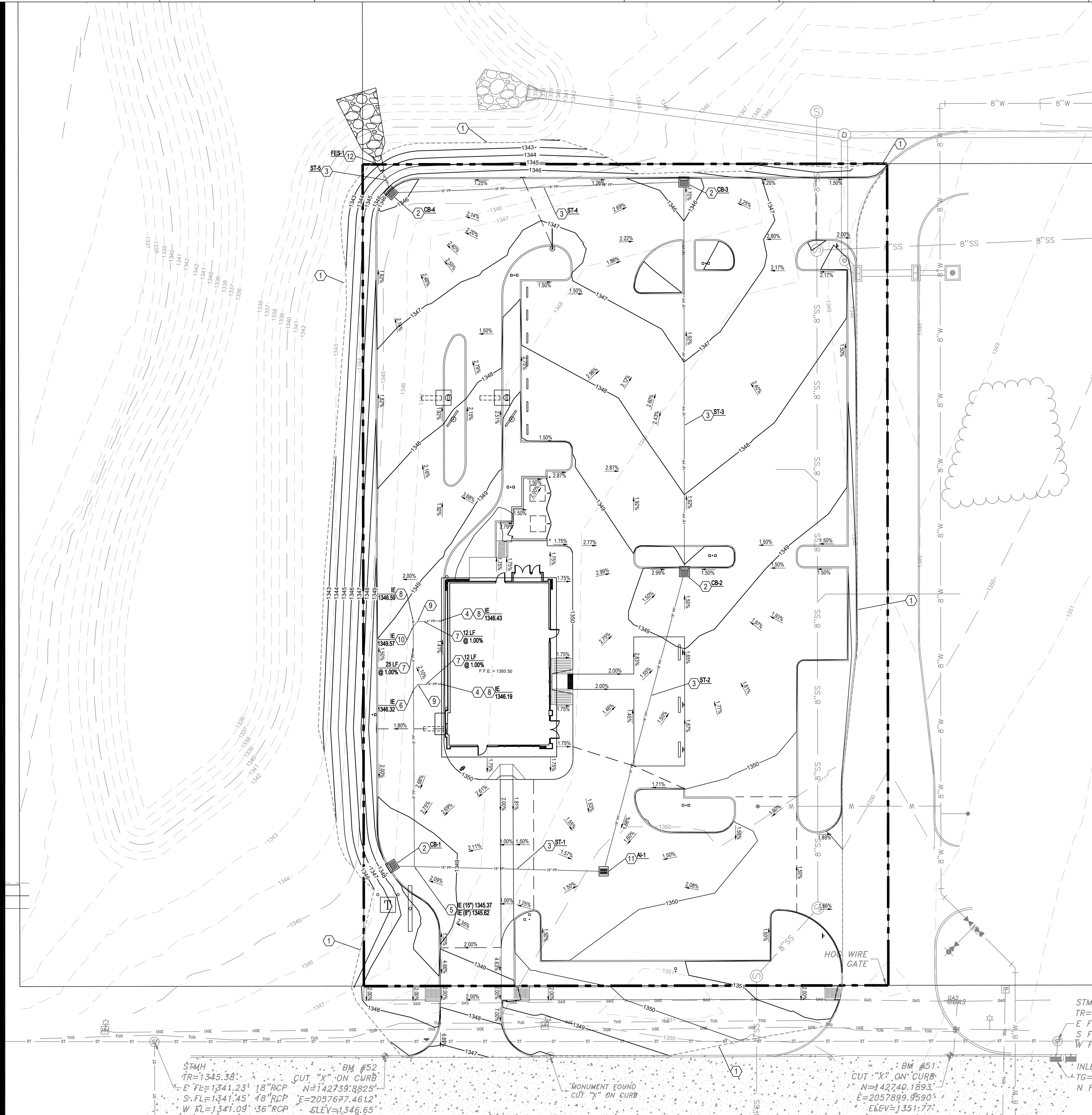
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MUSTANG, OK 73064

GRADING PLAN

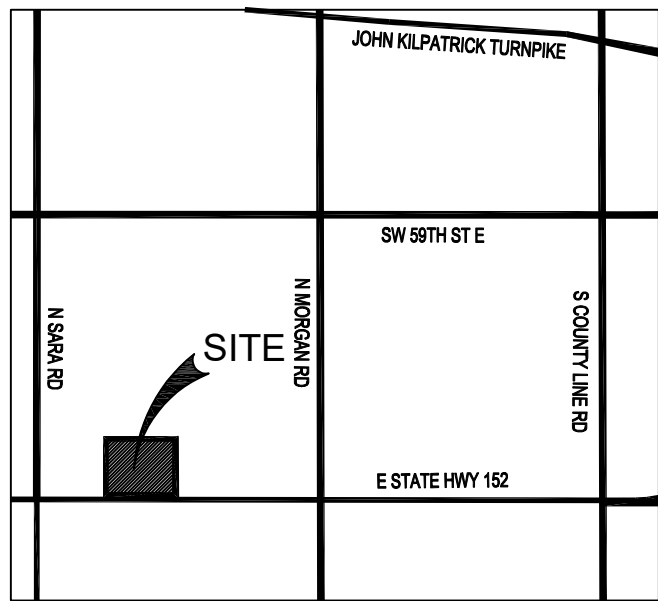
C05.0

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LOCATION MAP

NOT TO SCALE

PROPOSED GRADING LEGEND

- 15" CMP PROPOSED POLYPROPYLENE STORM SEWER PIPE
- IE PROPOSED INVERT ELEVATION
- RIM PROPOSED TOP OF GRATE ELEVATION
- 2.00% LIMITS OF DISTURBANCE
- 2.00% PROPOSED SLOPE DIRECTION
- PROPOSED STORM WATER CURB INLET
- PROPOSED STORM WATER AREA INLET

GENERAL GRADING NOTES

SEE SHEET C01.1 FOR GRADING NOTES

GRADING KEY NOTES

- 1 LIMITS OF DISTURBANCE
- 2 PROVIDE CURB INLET - SEE THIS SHEET FOR ELEVATIONS - SEE DETAIL SHEET (C05.2)
- 3 PROVIDE STORM SEWER PIPE - SEE THIS SHEET FOR ELEVATIONS - SEE DETAIL SHEET (C05.2)
- 4 TIE TO ROOF DRAIN COLLECTOR FROM BUILDING - SEE PLUMBING PLANS FOR UNDERGROUND CONNECTION AT BUILDING - SEE ELEVATION THIS SHEET - OVERFLOW PIPE FROM ROOF DRAIN TO DAYLIGHT THROUGH FACE OF CURB - SEE PLUMBING PLANS AND FOR LOCATION PROVIDE 8"X15" HDPE TEE PER MANUFACTURER SPECS. - SEE INVERT ELEVATIONS THIS SHEET
- 5 PROVIDE 8"X8"X8" WATER TIGHT POLYETHYLENE WYE WITH 4"X8" REDUCER PER MANUFACTURER SPECS. - SEE INVERT ELEVATION THIS SHEET
- 6 PROVIDE WATER TIGHT POLYETHYLENE PIPE FOR ROOF DRAINS - SEE THIS SHEET FOR SIZE, TYPE AND ELEVATIONS
- 7 PROVIDE STORM SEWER CLEANOUT - SEE INVERT ELEVATION THIS SHEET - SEE SHEET (C05.1)
- 8 PROVIDE 45° 4" WATER TIGHT HDPE BEND PER MANUFACTURER SPECS.
- 9 PROVIDE 4"X4"X4" WATER TIGHT POLYETHYLENE WYE PER MANUFACTURER SPECS. - SEE INVERT ELEVATIONS THIS SHEET
- 10 PROVIDE AREA INLET - SEE THIS SHEET FOR ELEVATIONS - SEE DETAIL SHEET (C05.2)
- 11 PROVIDE ADS FLARED END SECTION - SEE THIS SHEET FOR ELEVATIONS - SEE DETAIL SHEET (C05.2)
- 12 PROVIDE RIPRAP - SEE DETAIL SHEET (C05.2)

GRADING INFORMATION

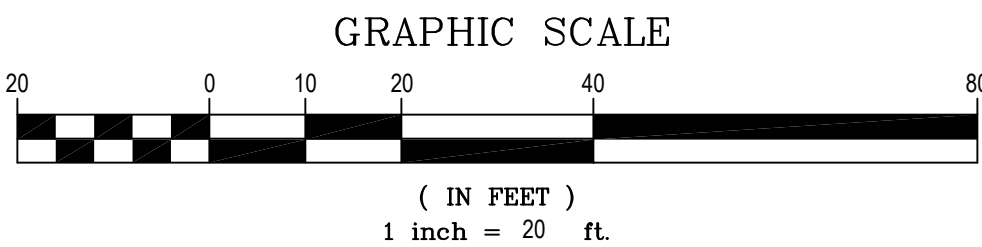
LIMITS OF DISTURBANCE = 70,723 SF / 1.62 AC

ALL DISTURBED AREA SHALL BE STABILIZED WITH SOD, COMMON TO THE REGION - SEE LANDSCAPE PLAN

STORM SEWER PIPE SCHEDULE					
PIPE	SIZE & TYPE	LENGTH	SLOPE	U.S. FL	D.S. FL
ST-1	18" RCP	78.8 LF	0.78%	1345.42	1344.82
ST-2	18" RCP	118.0 LF	0.68%	1344.82	1344.02
ST-3	18" RCP	149.4 LF	0.87%	1344.02	1342.72
ST-4	18" RCP	110.4 LF	0.80%	1342.47	1341.59
ST-5	18" RCP	8.1 LF	1.10%	1341.59	1341.50

STORM STRUCTURE TABLE				
STRUCTURE	TYPE	CASTING	INV IN	INV OUT
AI-1	Grate Inlet	1349.07	1344.82	1344.82
CB-1	Curb Inlet	1348.43		1345.42
CB-2	Curb Inlet	1348.52	1344.02	1344.02
CB-3	Curb Inlet	1345.72	1342.72	1342.47
CB-4	Curb Inlet	1345.84	1341.59	1341.59
FES-1	Flared End Section	1343.27	1341.50	

- NOTES:
1. PIPE LENGTHS AND SLOPES ARE CALCULATED TO INSIDE FACE OF STRUCTURE
 2. CASTING ELEVATION SHOWN FOR CURB INLET REPRESENTS GRADE AT PAVEMENT
 3. PIPES AND STRUCTURES DESIGNATED WITH "EX" ARE EXISTING



BM #51
TYPE: CUT X ON CURB
NORTHING: 142740.1893
EASTING: 2057899.9590
ELEVATION: 1351.77

BM #52
TYPE: CUT X ON CURB
NORTHING: 142739.8825
EASTING: 2057677.4612
ELEVATION: 1346.65

FLOOD STATEMENT:
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 40017C0404H DATED SEPTEMBER 26, 2008. NO FIELD SURVEY WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY. ZONE "X" DENOTES AREAS OF 0.2% ANNUAL CHANCE FLOOD OR AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE.



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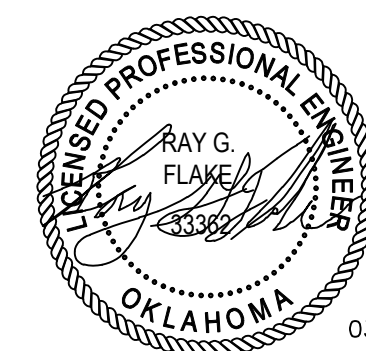
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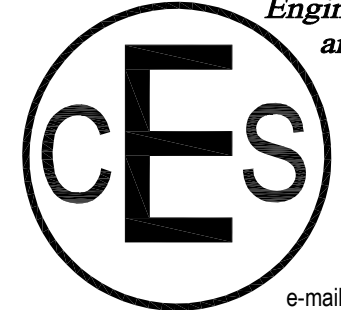
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PANDA PROJECT #: S8-23-D24283
PANDA STORE #: D24283



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Phone: (615) 533-0401

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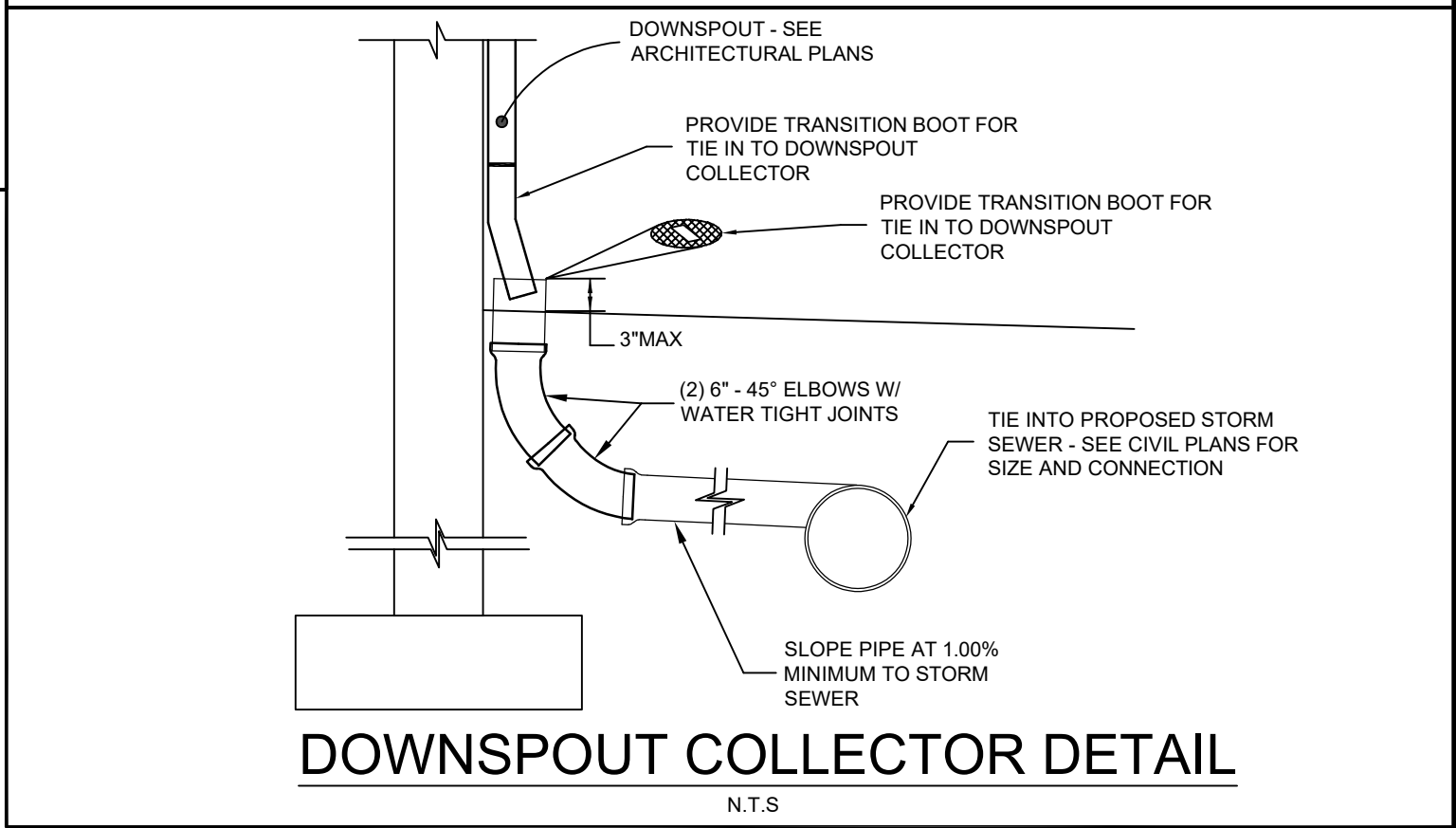
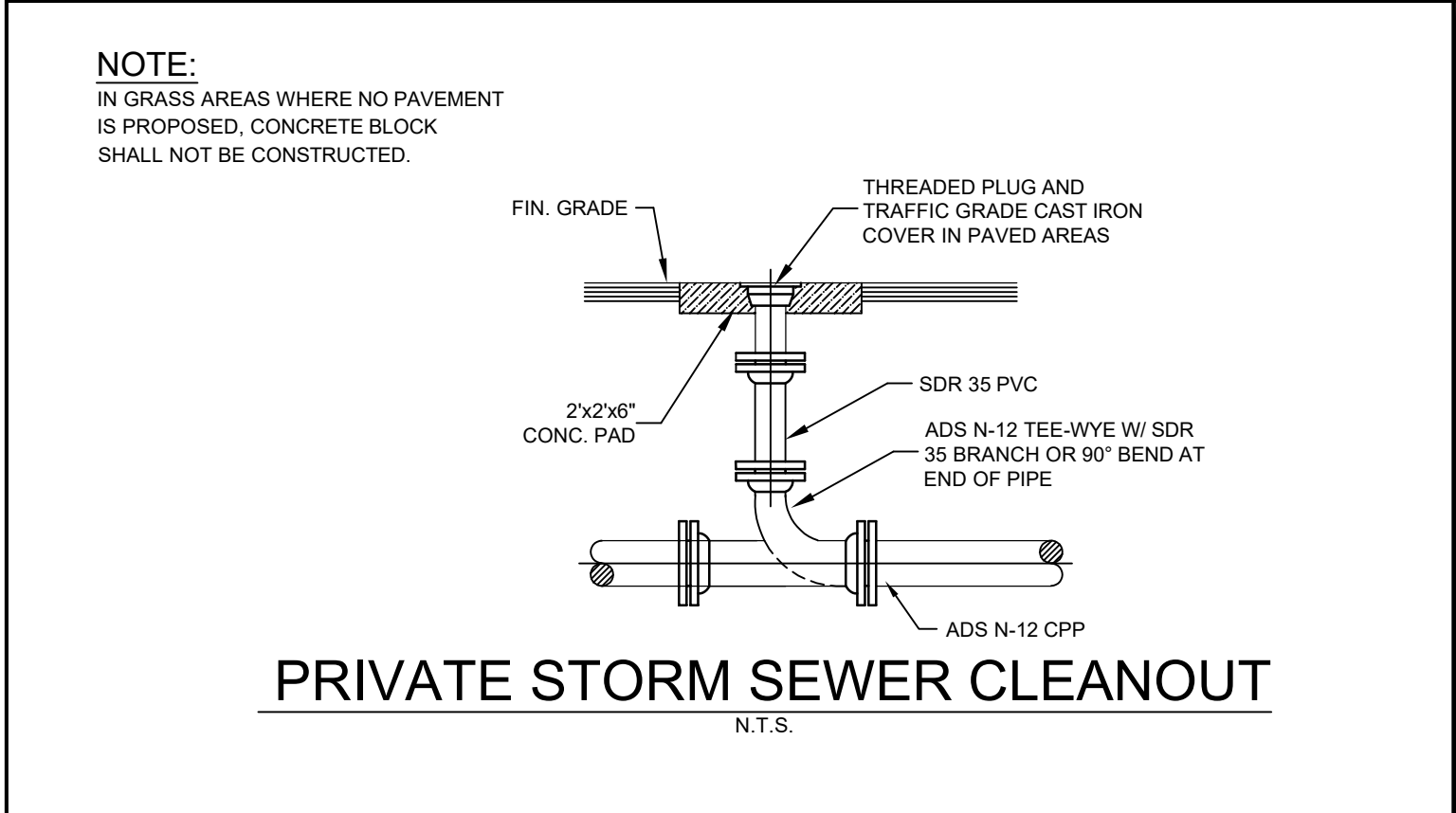
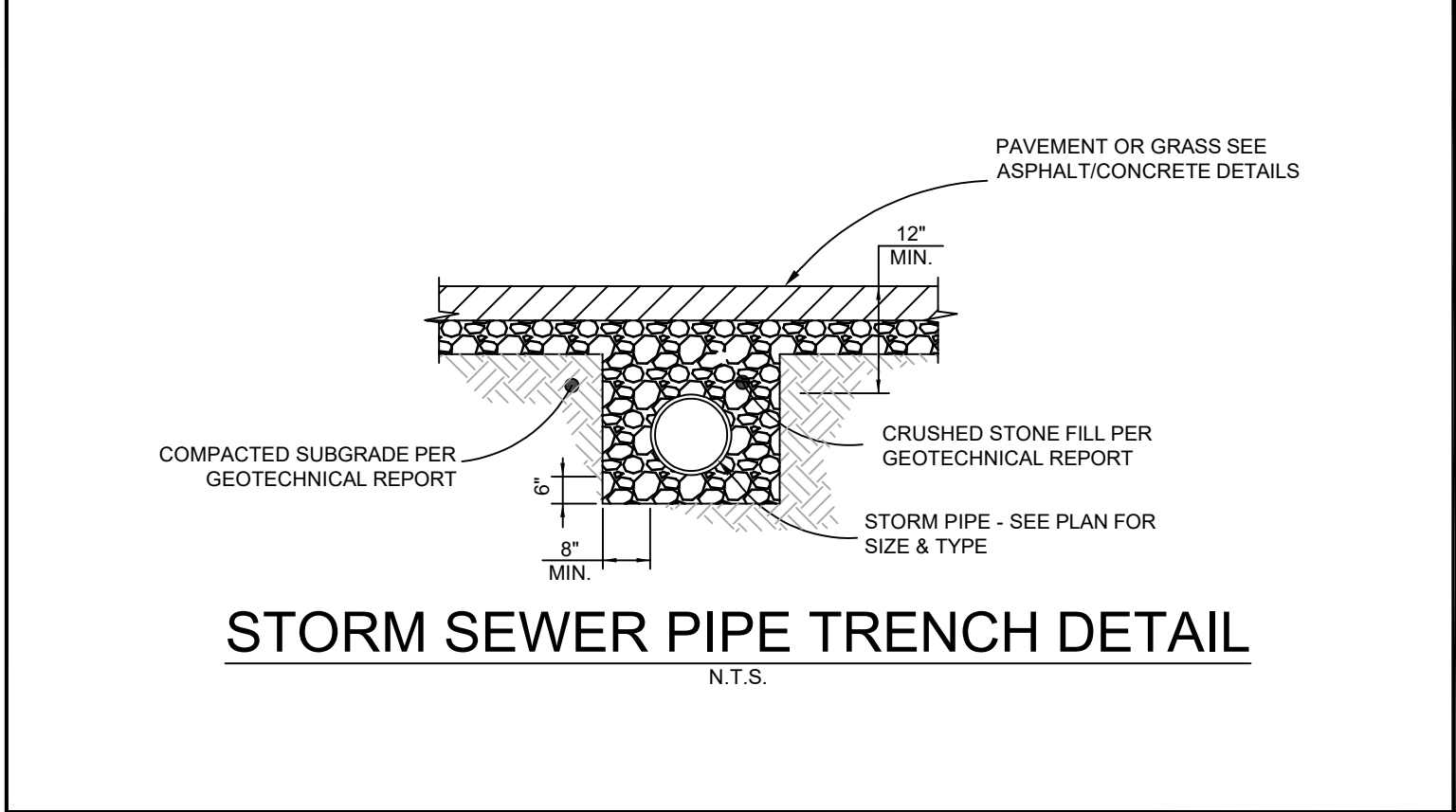
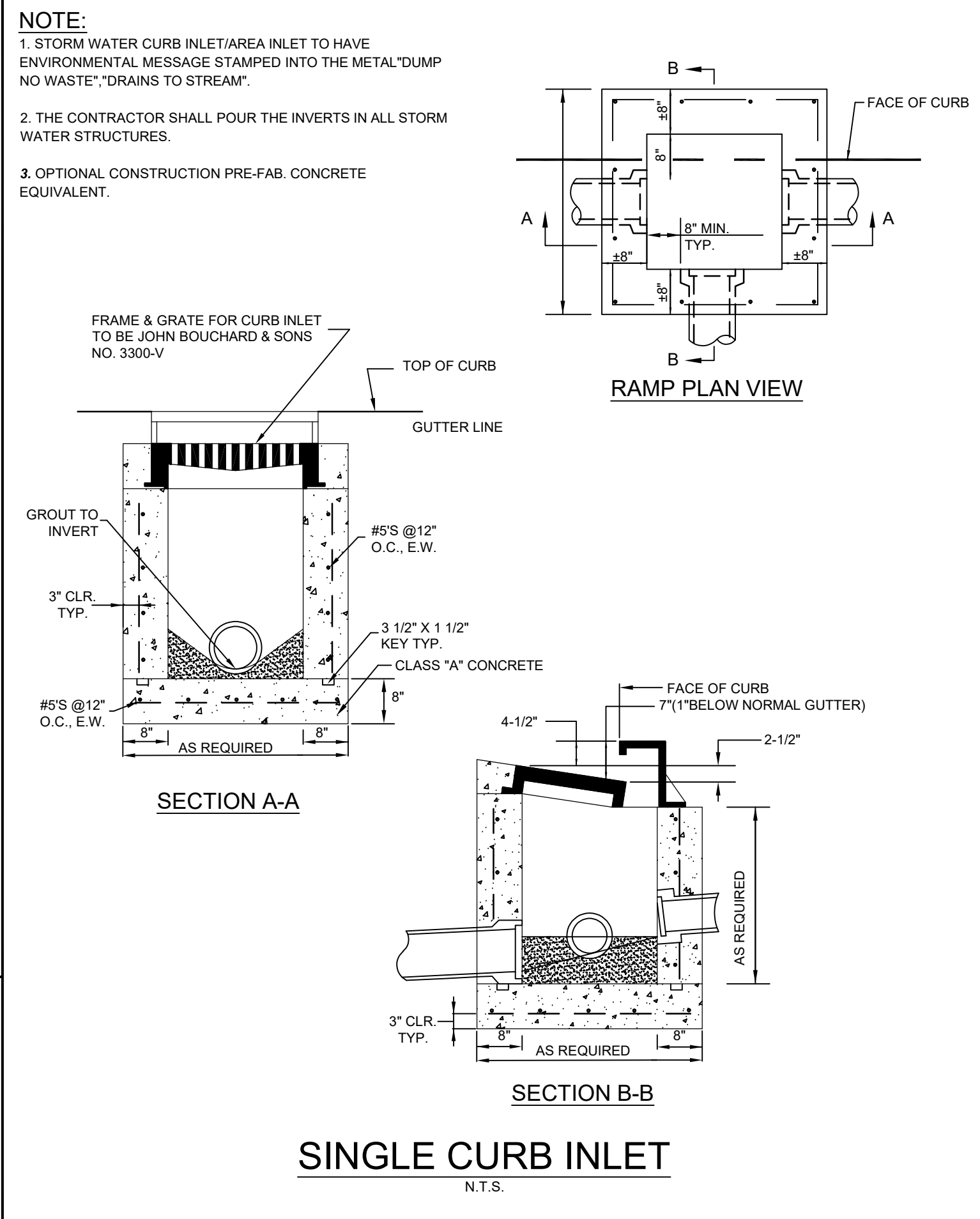
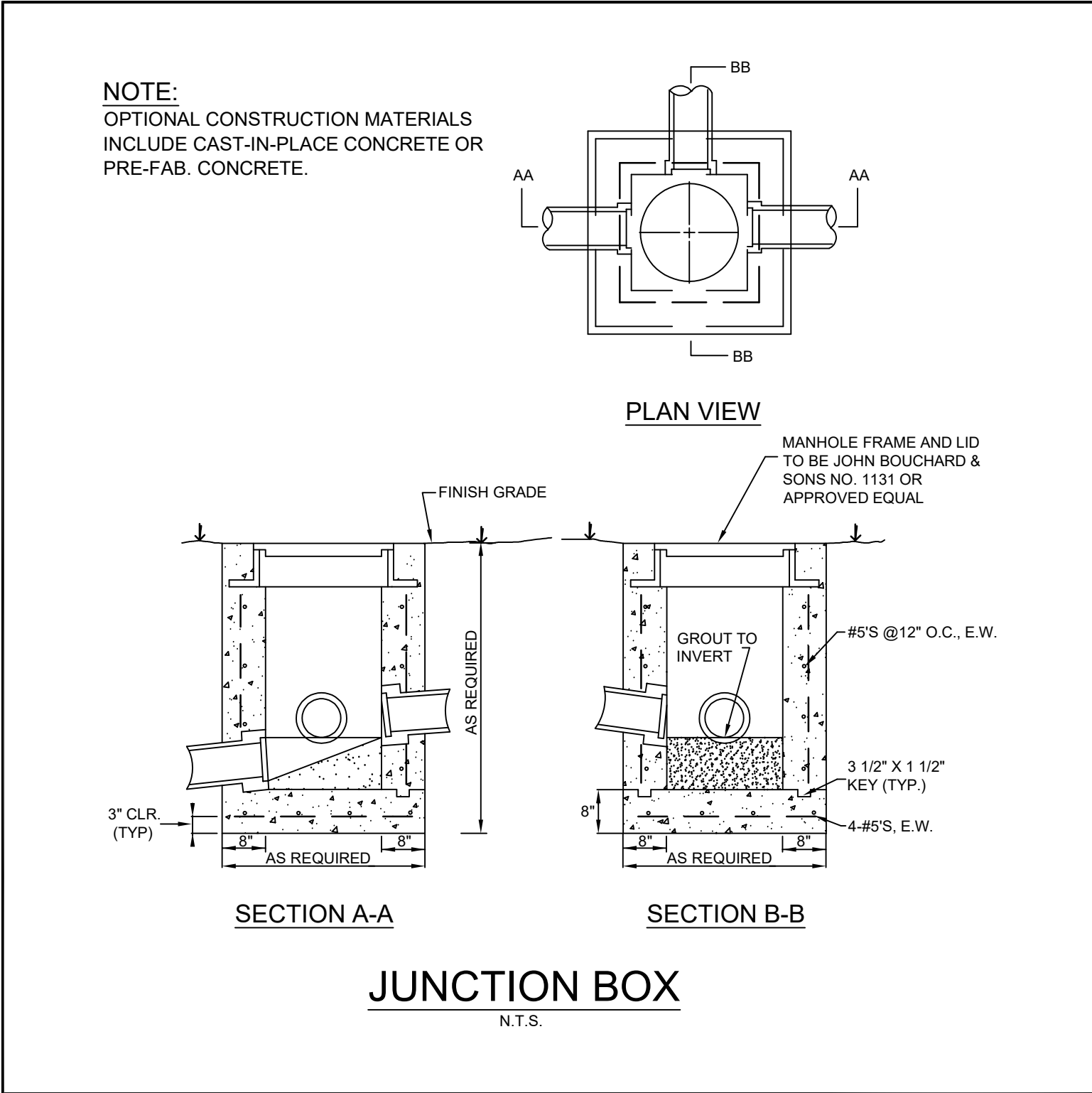
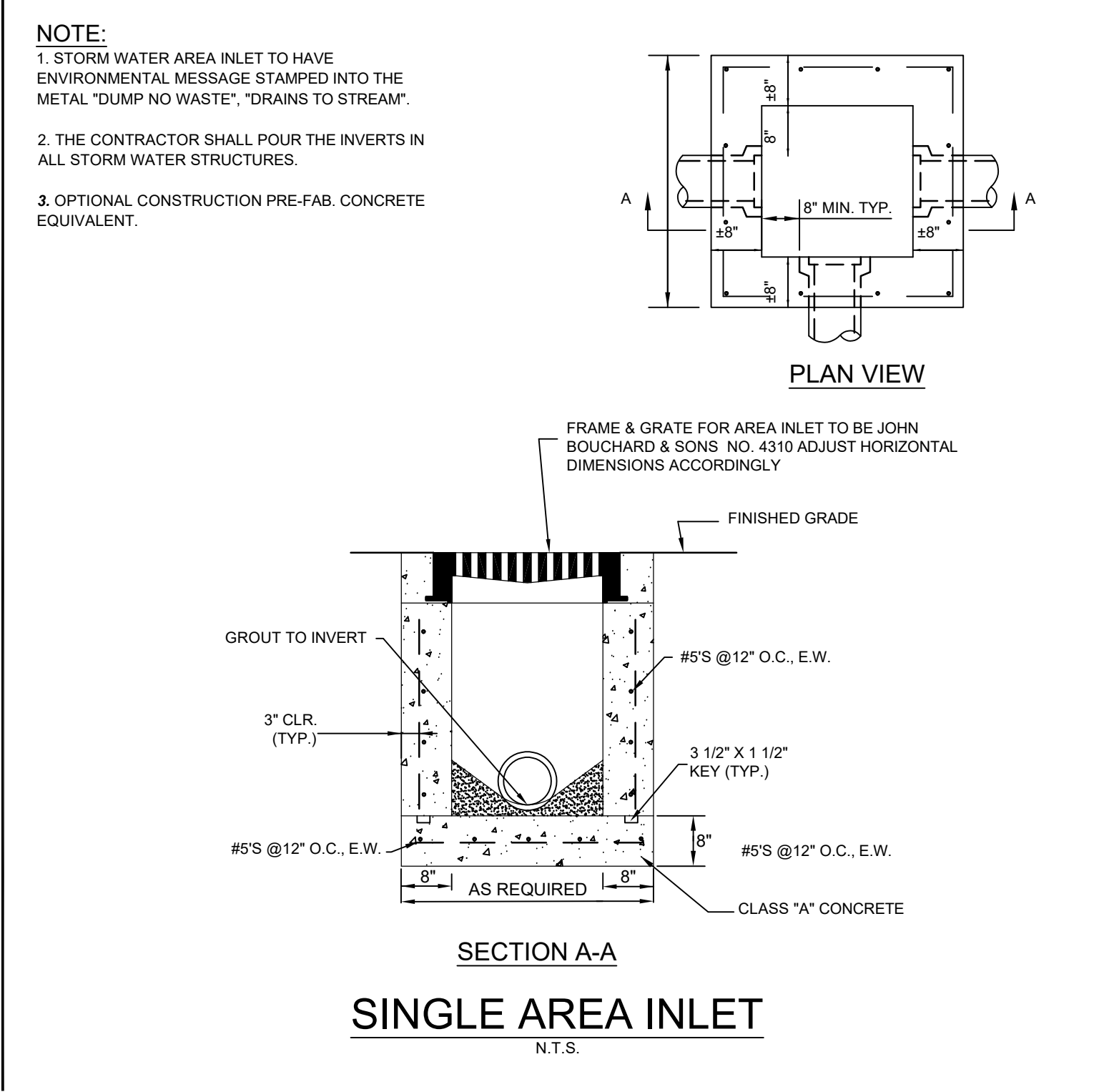
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DRAINAGE PLAN

C05.1

TRUE WARM & WELCOME 2600 RX





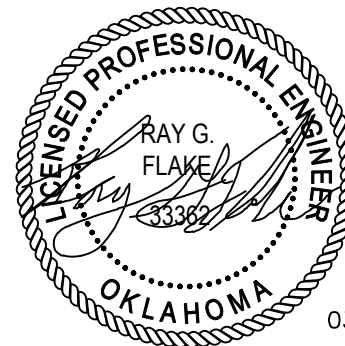
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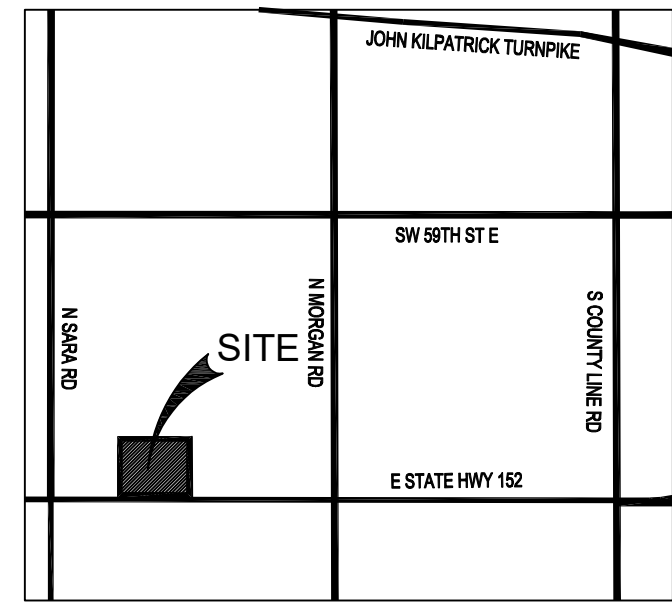
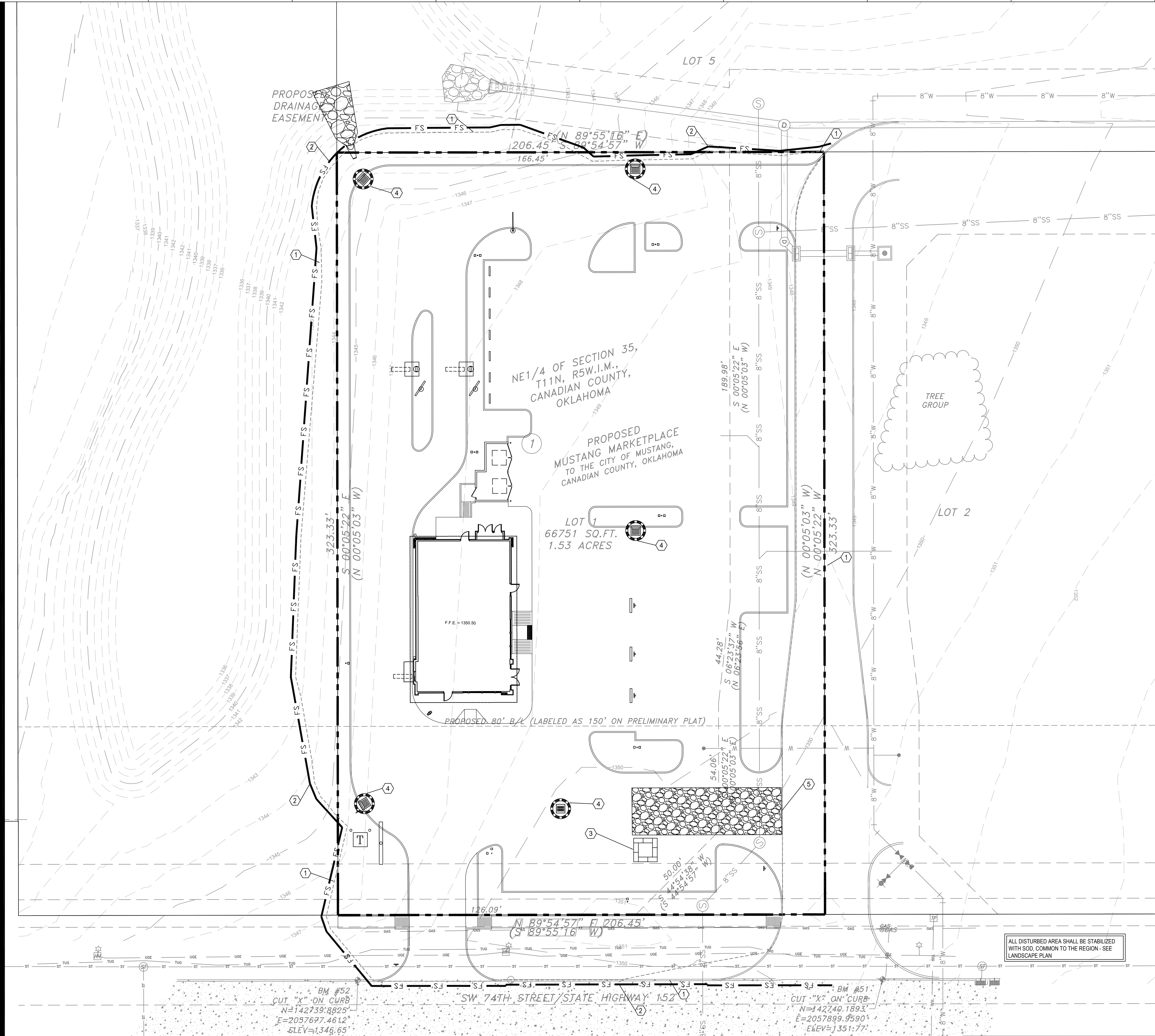
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HIGHWAY 152 & HUNKER TERRACE
MUSTANG, OK 73064

**GRADING DETAIL
SHEET
C05.2**

TRUE WARM & WELCOME 2600 RX



LOCATION MAP
NOT TO SCALE

PROPOSED LEGEND

- TEMPORARY CONSTRUCTION EXIT
- INSTALL INLET PROTECTION (SEE DETAIL SHEET)
- INSTALL FILTER SOCK (SEE DETAIL SHEET)
- CONCRETE WASHOUT AREA
- LIMITS OF DISTURBANCE

EROSION KEY NOTES

- LIMITS OF LAND DISTURBANCE
- INSTALL FILTER SOCK SEDIMENT PROTECTION OR APPROVED EQUAL - MAINTAIN THROUGHOUT CONSTRUCTION - FIELD ADJUST AS REQUIRED - SEE DETAIL SHEET (C06.1)
- CONCRETE WASHOUT PER EPA STANDARDS - CONTRACTOR TO FIELD ADJUST LOCATION ONSITE AS NEEDED - SEE DETAIL SHEET (C06.1)
- INSTALL FILTER SOCK INLET PROTECTION OR APPROVED EQUAL - SEE DETAIL SHEET (C06.1)
- PROVIDE CONSTRUCTION ENTRANCE - SEE DETAIL SHEET

EROSION CONTROL NOTES

SEE SHEET C1.1 FOR EROSION CONTROL NOTES

GRADING INFORMATION

LIMITS OF DISTURBANCE = 70,723 SF / 1.62 AC

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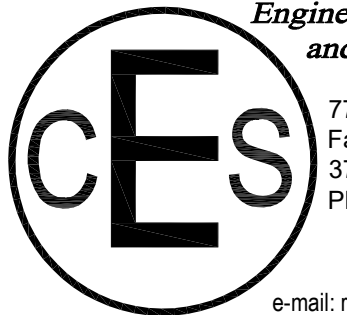
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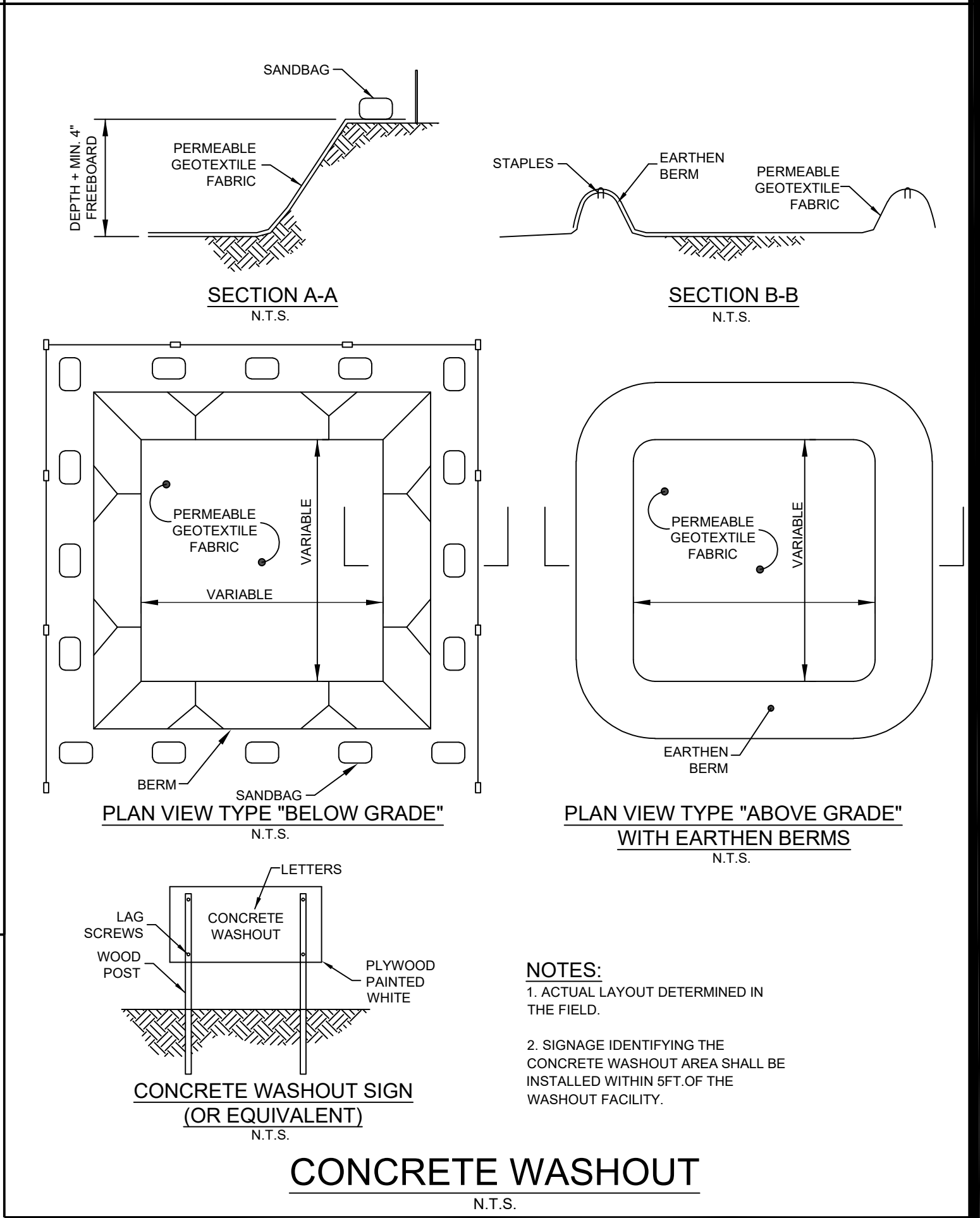
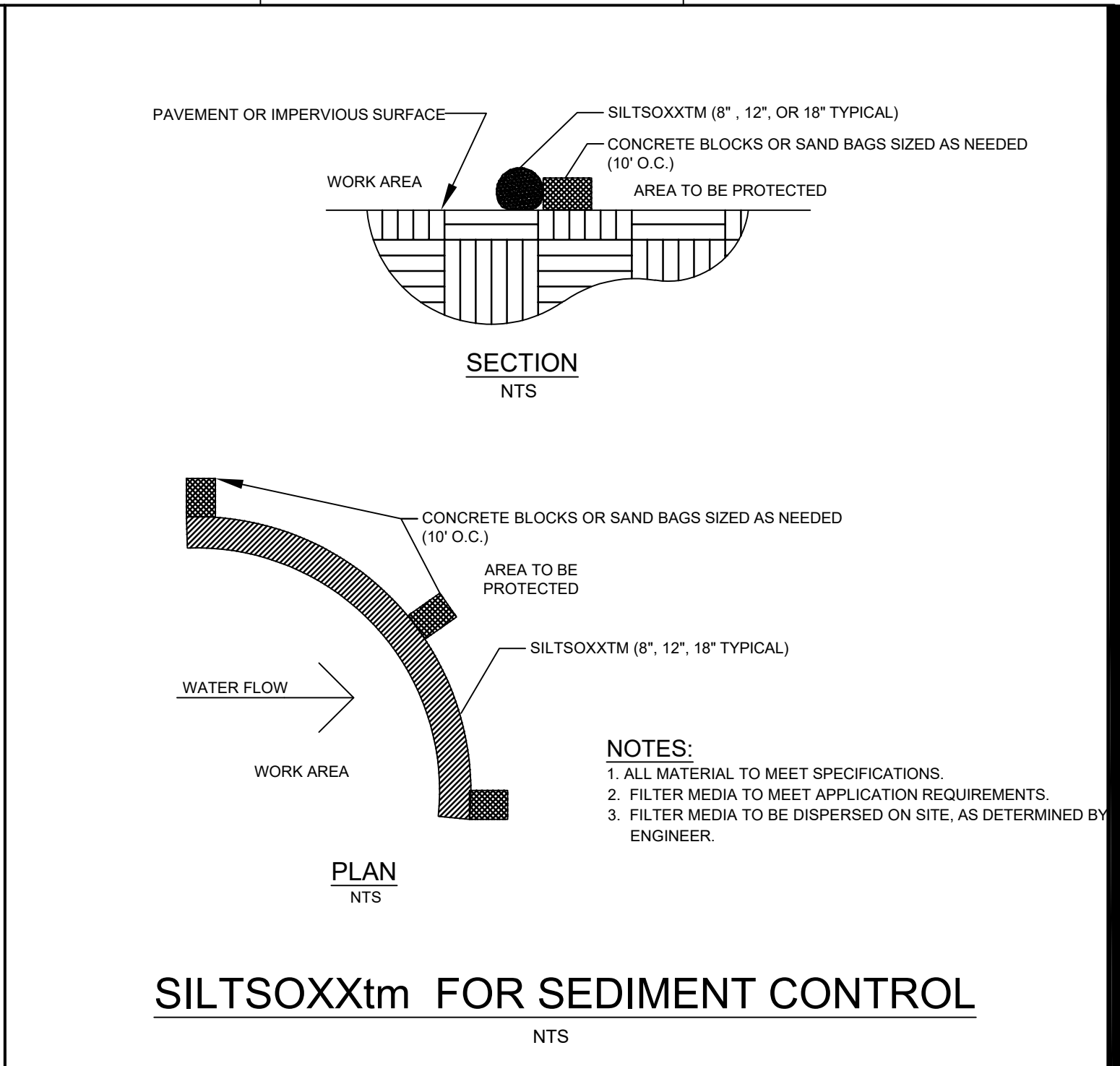
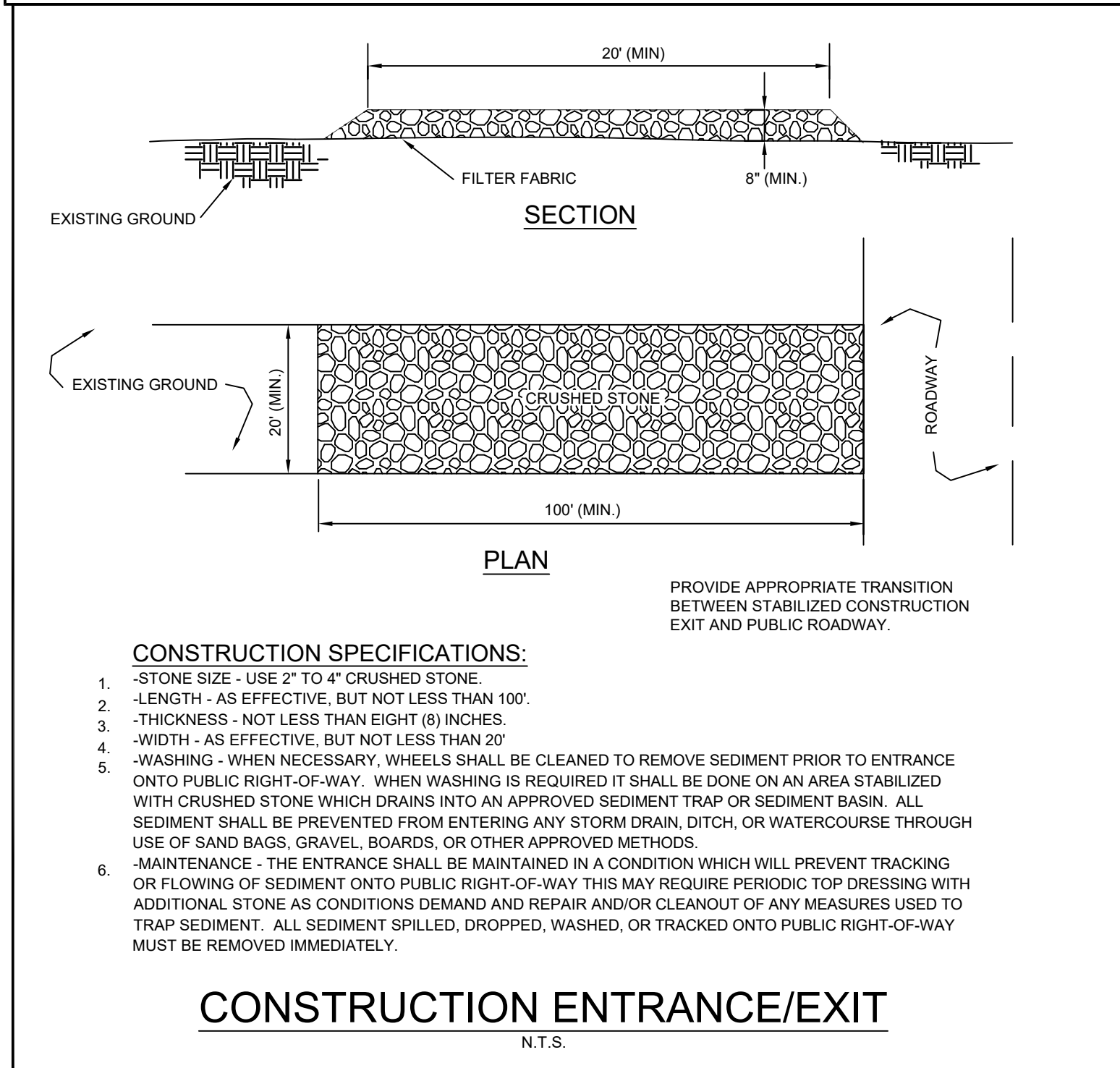
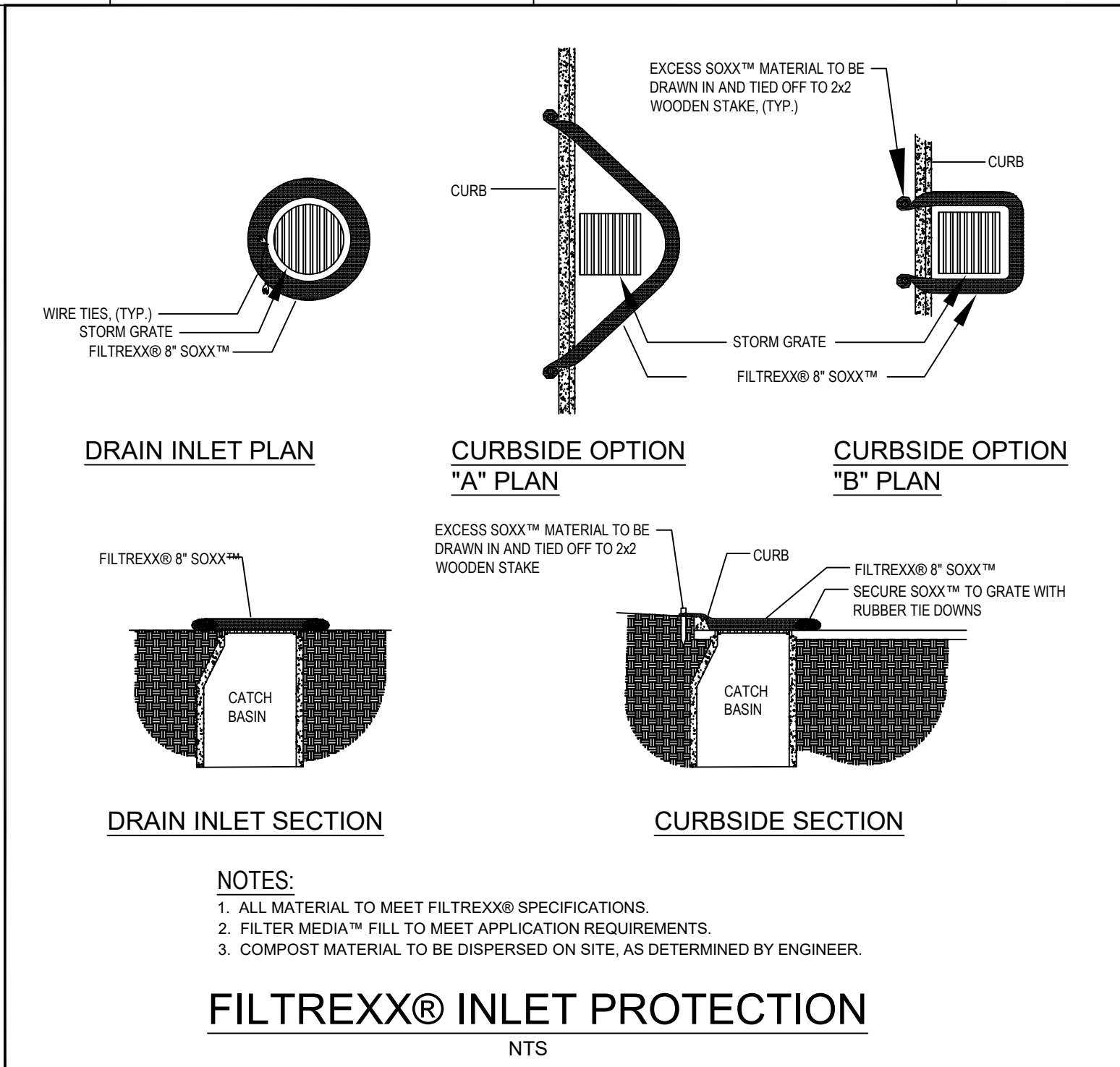
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MUSTANG, OK 73064

EROSION CONTROL
PLAN

C06.0

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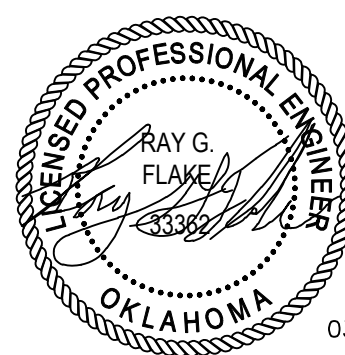
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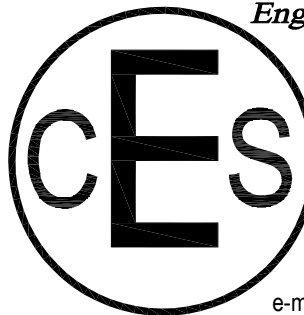
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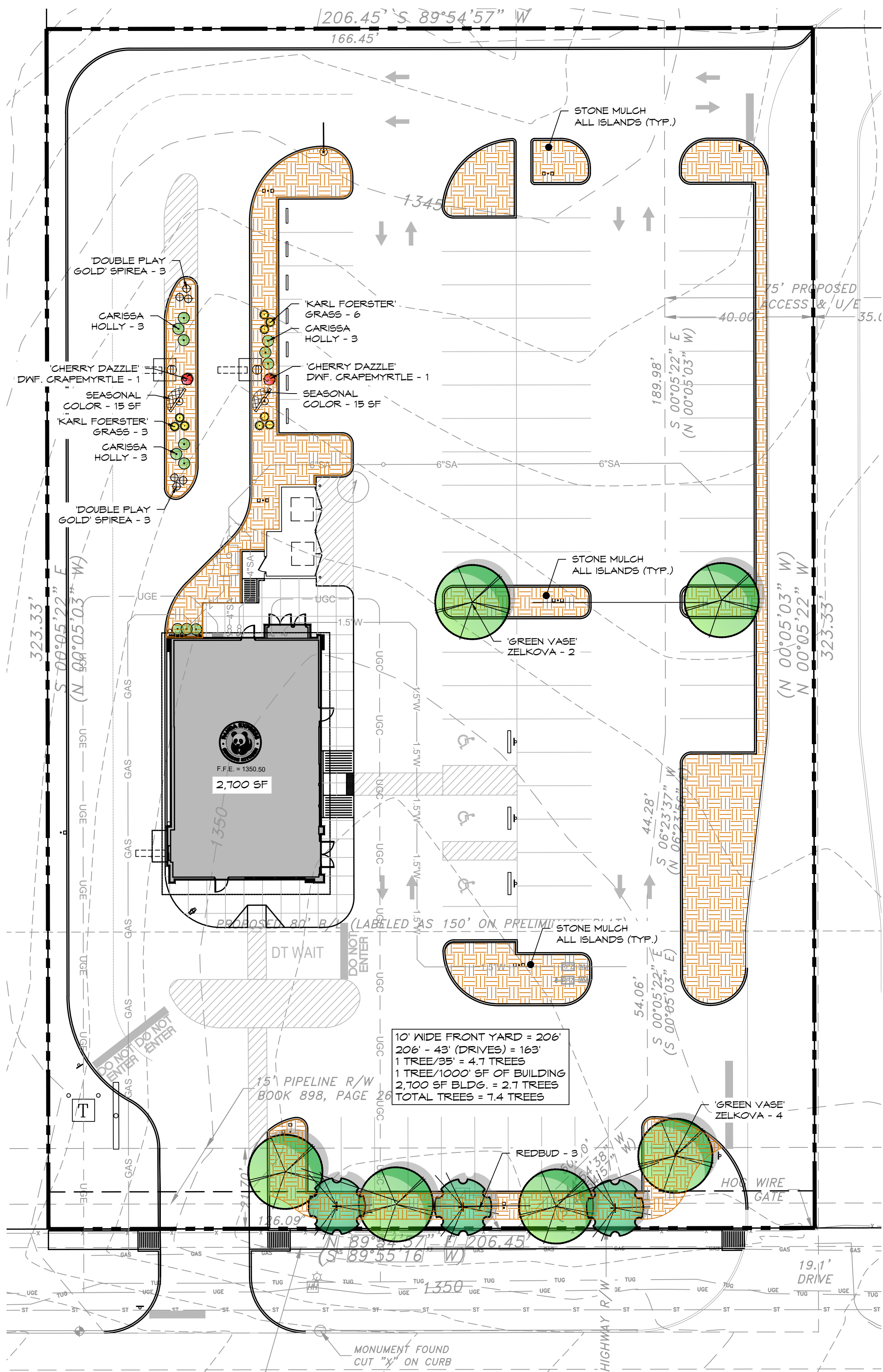
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EROSION CONTROL
DETAILS

C06.1

TRUE WARM & WELCOME 2600 RX



SW 74TH STREET / STATE HIGHWAY 152



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LANDSCAPE BED NOTES:

- ALL LANDSCAPE BEDS SHOULD BE PREPARED 3" BELOW GRADE PRIOR TO START.
- APPLY PRE-EMERGENT TO ALL LANDSCAPE BEDS AS SUGGESTED PER MANUFACTURER'S SPECIFICATIONS. (SEE NOTE #8).
- APPLY PERMEABLE WEED BARRIER TO ALL LANDSCAPE BEDS.
- INSTALL RIVER ROCK MUCH (OR LOCAL EQUAL) (1" - 1.5" DIAMETER), APPROXIMATELY 3" DEEP IN ALL LANDSCAPE BEDS OVER WEED BARRIER.

LANDSCAPE CALCULATIONS		
SITE AREA:	66,751.2 SF	(1.53 AC)
BUILDING AREA:	2,702.6 SF	(0.06 AC)
	REQUIRED	PROVIDED
FRONT YARD LANDSCAPE BUFFER:		
SW 74TH STREET / STATE HWY 152		
206' - 43' (DRIVE) = 163'	163'	
1 TREE / 35' L.F.	4.7	
1 TREE / 1,000 S.F. OF BUILDING AREA	2.7	
TOTAL TREES REQ.	7.4	7

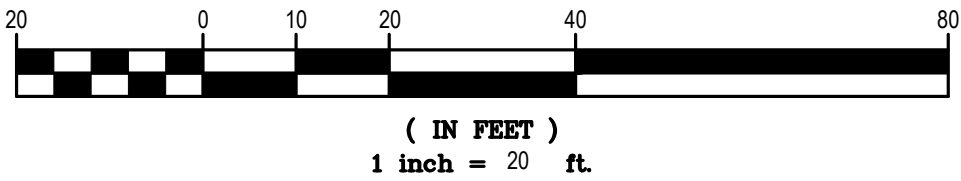
PANDA EXPRESS LANDSCAPE NOTES:

- WHEN APPLICABLE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING TREES TO REMAIN. NO HEAVY EQUIPMENT SHOULD BE PERMITTED TO OPERATE OR BE STORED, NOR ANY MATERIALS TO BE HANDLED OR STORED, WITHIN THE DRIPLINES OF TREES OUTSIDE THE LIMIT OF GRADING.
- THE QUANTITIES INDICATED ON THE PLANT LIST AND PLAN ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY WHICH PERTAINS TO THOSE QUANTITIES AND TO ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS. QUESTIONS SHOULD BE DIRECTED TO THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN, GRADE "A" QUALITY, UNLESS OTHERWISE NOTED AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK: ANSI Z-60.1; LATEST EDITION, FOR SIZE AND QUALITY.
- NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT. KITA SUSTAINABLE DESIGNS, LLC (615) 469-1222.
- THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TO PROTECT UTILITIES THAT ARE TO REMAIN. THE CONTRACTOR SHALL REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- STABILIZE ALL DISTURBED AREAS (NOT MULCHED) WITH SOD. PRIOR TO INSTALLATION, CONTRACTOR TO COORDINATE WITH PANDA EXPRESS PROJECT MANAGER TO VERIFY SOD TYPE TO BE USED. ROLL ALL SOD AFTER PLACING.
- SOIL USED FOR PLANTING SHALL CONSIST OF (5) PARTS TOPSOIL, (1) PART SAND AND (2) PARTS ORGANIC MATTER, MIXED WITH 1 POUND OF FERTILIZER PER CUBIC YARD.
A. SAND SHALL BE CLEAN MASONRY SAND.
B. ORGANIC MATTER SHALL BE PEAT MOSS, OR WELL COMPOSTED PINE BARK, OR APPROVED EQUAL AND SHALL BE FINELY GROUND AND FREE OF WEEDS.
C. ALL FERTILIZER SHALL BE 10-10-10 WITH MINOR ELEMENTS. FERTILIZER SHALL HAVE 40-50% OF ITS TOTAL NITROGEN IN A WATER INSOLUBLE FORM.
- PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AND SOD AREAS PRIOR TO INSTALLATION. TREFLAN OR AN APPROVED EQUAL SHALL BE USED.
- ALL PLANT BEDS SHALL HAVE A MINIMUM OF 3" DEEP MULCH. MULCH SHALL BE RIVER ROCK (OR LOCAL EQUAL), 1" - 1.5" DIAMETER STONE.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO CONFIRM MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT LIST.
- PRIOR TO FINAL PAYMENT, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON PROPER CARE OF ALL SPECIFIED PLANT MATERIALS.
- THE LANDSCAPE INSTALLATION SHALL BE COORDINATED WITH THE IRRIGATION INSTALLATION WHEN APPLICABLE. IRRIGATION TO BE DESIGN-BUILD BY THE G.C.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AND TAKE SPECIAL CARE TO INSURE THAT BED PREPARATION DOES NOT INHIBIT DRAINAGE.
- ALL LAWN AREAS SHALL BE CULTIVATED TO A DEPTH OF 4" PRIOR TO SODDING. PREPARED TURF BEDS SHALL BE FREE FROM STONES OVER 2" DIAMETER, WEEDS AND OTHER DELETERIOUS MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL RAKE SMOOTH ALL SOD AREAS PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING BEHIND THE CURB SO GRADE IS LEVEL WITH TOP OF CURB.
- CUT AWAY ROPES OR WIRES FROM B&B PLANTS. PULL BACK BURLAP FROM TOP OF ROOT BALL. DO NOT ALLOW BURLAP TO BE EXPOSED AT SURFACE. TOTALLY REMOVE BURLAP IF IT IS SYNTHETIC.
- IF CONTAINER GROWN PLANTS SHOW SIGNS OF BEING ROOT BOUND, SCORE ROOTS VERTICALLY.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
- ALL REPLACEMENTS SHALL BE OF THE SAME TYPE, SIZE, AND QUALITY AS SPECIFIED ON THE PLANT LIST, UNLESS APPROVED OTHERWISE IN WRITING BY THE LANDSCAPE ARCHITECT.
- ANY MATERIAL THAT IS DEEMED TO BE 25% DEAD OR MORE SHALL BE CONSIDERED DEAD, AND MUST BE REPLACED AT NO CHARGE. A TREE IS CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR MORE THAN 25% OF THE CROWN IS DEAD.
- REPLACEMENTS SHALL BE MADE DURING THE NEXT PLANTING SEASON UNLESS THE LANDSCAPE CONTRACTOR AGREES TO AN EARLIER DATE.
PLANTING DATES
SPRING: MARCH 15 - APRIL 15
FALL: OCTOBER 1 - NOVEMBER 30
- THE LANDSCAPE CONTRACTOR WILL NOT BE RESPONSIBLE FOR PLANT MATERIAL THAT HAS BEEN DAMAGED BY VANDALISM, FIRE, RELOCATION, WILDLIFE, THEFT, OR OTHER ACTIVITIES BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.
- GENERAL CONTRACTOR TO COORDINATE AND BE RESPONSIBLE FOR WATERING ALL PLANTS AND TURF AREAS AFTER PLANTING UNTIL IRRIGATION SYSTEM IS OPERABLE.
- CONTRACTOR TO IRRIGATE ALL NEW LANDSCAPE PLANTINGS AND LAWN AREAS WITH AN AUTOMATED UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM TO BE DESIGN-BUILD BY G.C.
- IRRIGATION TO HAVE A SEPARATE METER.
- PLANT MATERIAL SHALL BE APPROPRIATE FOR THE APPLICABLE USDA PLANT HARDINESS ZONE.
- SPECIES MUST MEET BOTH MINIMUM CALIPER OR GALLON SIZE AND HEIGHT IF LISTED.
- LANDSCAPE CONTRACTOR TO MAINTAIN LANDSCAPING FOR 60 DAYS AFTER TURNOVER. MAINTENANCE SHALL INCLUDE MOWING, EDGING AND TRIMMING SHRUBS

PLANT SCHEDULE

QTY.	COMMON NAME	BOTANICAL NAME	HEIGHT	TRUNK	COMMENTS
CANOPY TREES					
6	'Green Vase' Japanese Zelkova	Zelkova serrata 'Green Vase'	10' - 12'	2" Cal.	B&B
6	TOTAL - CANOPY TREES				
UNDERSTORY/COLUMNAR TREES					
3	Redbud	Cercis canadensis	8' - 10'	2" Cal.	B&B
3	TOTAL - UNDERSTORY TREES				
9	TOTAL - ALL TREES				
SHRUBS					
12	Carissa Holly	Ilex cornuta 'Carissa'	18" Min.	3 Gal.	Container
2	'Cherry Dazzle' Dwarf Crapemyrtle	Lagerstroemia 'Gamad I'	18" Min.	3 Gal.	Container
6	'Double Play Gold' Spirea	Spirea japonica 'Double Play Gold'	12" Min.	1 Gal.	Container
20	TOTAL - SHRUBS				
GRASSES, PERENNIALS AND GROUND COVER					
9	Karl Foerster Grass	Calamagrostis x acutiflora 'Karl Foerster'		1 Gal.	
30 sf	Seasonal Color	Various annual flowers		4" Pots	Change plants 3X per year
TURF					
-	Hybrid Fescue Seed/Sod	Drought tolerant fescue blend			

GRAPHIC SCALE



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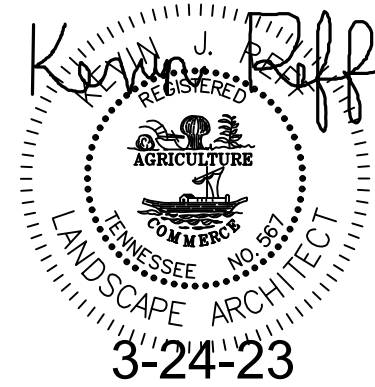
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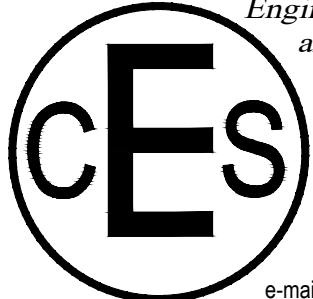
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PANDA STORE #: D24283



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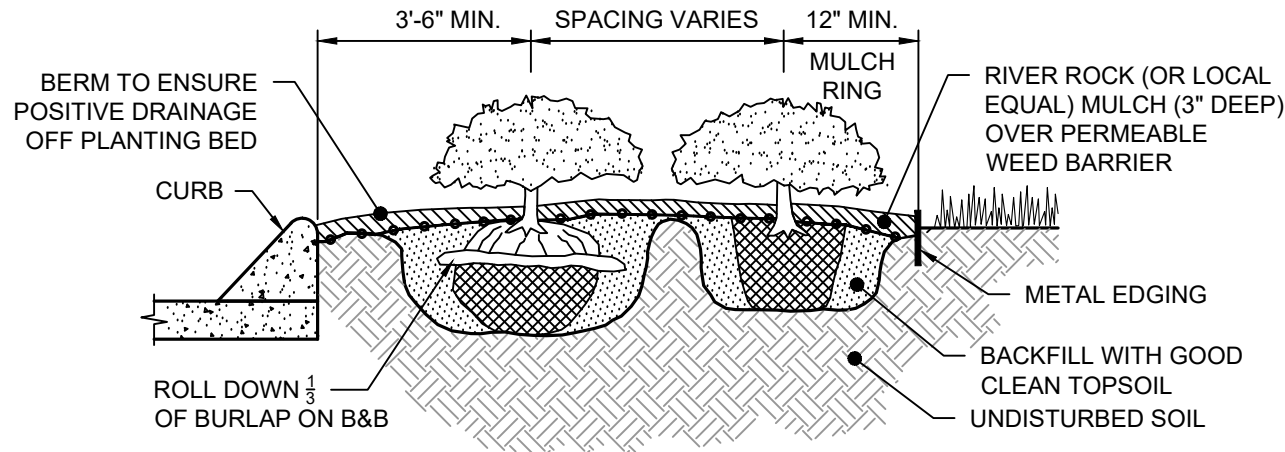
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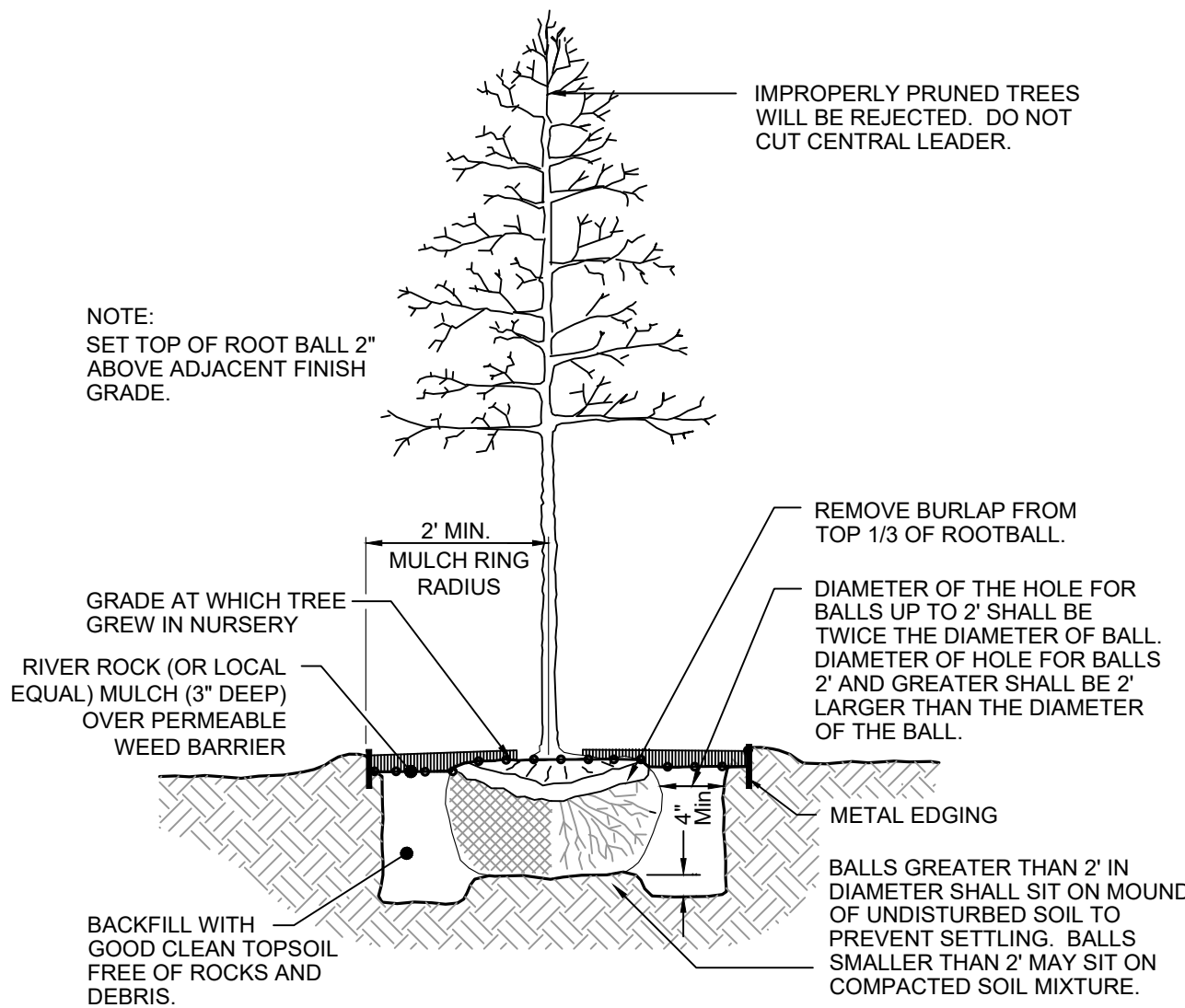
LANDSCAPE PLAN

L01.1

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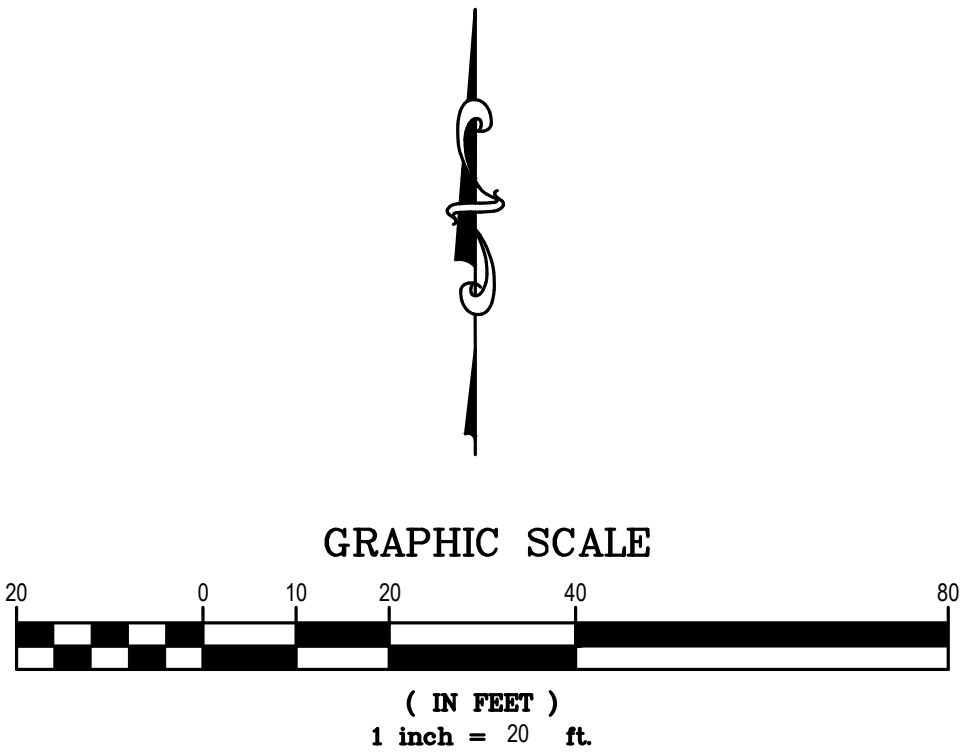
SHRUB / GROUNDCOVER PLANTING
NOT TO SCALE



DECIDUOUS TREE PLANTING
NOT TO SCALE



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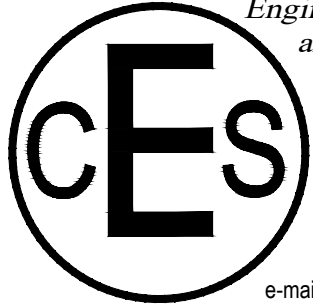
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LANDSCAPE PLAN

L01.2

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